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DOC19/1052799

Mr Nick Johnston  
Project Director, Heritage Core  
Parramatta North  
Infrastructure NSW  
Level 12, MLC Centre, 19 Martin Place  
SYDNEY NSW 2000

Email: [njohnston@ugdc.nsw.gov.au](mailto:njohnston@ugdc.nsw.gov.au)  
cc: [SWilliams@tkda.com.au](mailto:SWilliams@tkda.com.au)

Dear Nick

**APPROVAL UNDER SECTION 60 OF THE HERITAGE ACT 1977  
CUMBERLAND DISTRICT HOSPITAL GROUP, STATE HERITAGE REGISTER No  
00820**

**Address:** 5 Fleet Street, Parramatta  
**Application no:** S60/2019/227, received 12 December 2020  
**Proposal:** Western Sydney Start-up Hub - Conservation and Adaptation Works to  
Buildings C104, C104A, C107, C190 (part) and C111

As delegate of the Heritage Council of NSW (the Heritage Council), I have considered the above Section 60 application. Pursuant to section 63 of the *Heritage Act 1977*, approval is granted subject to the following conditions.

**1. APPROVED DEVELOPMENT**

**Development must be in accordance with:**

**a) Architectural drawings prepared by TKD Architects as listed below.**

Dwg No	Dwg Title	Date	Rev
<b>Project Name: Parramatta North Growth Centre Heritage Repairs – Tranche 2</b>			
AR.S60.0000	LOCATION PLAN AND COVER SHEET	29.11.19	A
AR.S60.0001	EXISTING SITE PLAN AND STAGING DIAGRAM	29.11.19	A
AR.S60.1001	ACTIVATION PRECINCT - PROPOSED GROUND FLOOR PLAN	29.11.19	A
AR.S60.1002	ACTIVATION PRECINCT - PROPOSED FIRST FLOOR PLAN	29.11.19	A
AR.S60.2001	BUILDINGS C104+C104a DEMOLITION GROUND FLOOR PLAN	29.11.19	A
AR.S60.2002	BUILDINGS C104+C104a PROPOSED GROUND FLOOR PLAN	29.11.19	A
AR.S60.2003	BUILDINGS C104+C104a DEMOLITION FIRST FLOOR PLAN	29.11.19	A
AR.S60.2004	BUILDINGS C104+C104a PROPOSED FIRST FLOOR PLAN	29.11.19	A
AR.S60.2005	BUILDINGS C104+C104a DEMOLITION ROOF PLAN	29.11.19	A
AR.S60.2006	BUILDINGS C104+C104a PROPOSED ROOF PLAN	29.11.19	A

AR.S60.2007	BUILDINGS C104+C104a DEMOLITION/PROPOSED SOUTH	29.11.19	A
AR.S60.2008	BUILDINGS C104+C104a DEMOLITION/PROPOSED NORTH ELEVATION	29.11.19	A
AR.S60.2009	BUILDINGS C104+C104a DEMOLITION/PROPOSED EAST ELEVATION	29.11.19	A
AR.S60.4001	BUILDING C107 DEMOLITION GROUND FLOOR PLAN	17.02.20	A
AR.S60.4001	BUILDING C107 PROPOSED GROUND FLOOR PLAN	17.02.20	B
AR.S60.4002	BUILDING C107 DEMOLITION/PROPOSED FIRST FLOOR PLAN	29.11.19	A
AR.S60.4003	BUILDINGS C107+C104 DEMOLITION/PROPOSED WEST ELEVATION	29.11.19	A
AR.S60.6001	BUILDING C111 DEMOLITION/PROPOSED GROUND & FIRST FLOOR PLANS 1:100 AR.S60.6002	29.11.19	A
AR.S60.6002	BUILDING C111 DEMOLITION/PROPOSED ROOF PLAN	29.11.19	A
AR.S60.6003	BUILDING C111 DEMOLITION/PROPOSED NORTH & WEST ELEVATIONS	29.11.19	A
AR.S60.6004	BUILDING C111 DEMOLITION/PROPOSED SOUTH & EAST ELEVATION	29.11.19	A

- b) **Cumberland Hospital (East Campus) Site Buildings C104, C104A, C107, and C111, Proposed Conservation and Adaptive Re-use, Statement of Heritage Impact, Tanner Kibble Denton Architects, December 2019;**
- c) **Cumberland Hospital (East Campus) site—Buildings C104, C104A, C107, C109 (part) and C111 Proposed Conservation and Adaptive Re-use—HIS Addenda, Statement of Heritage Impact, Tanner Kibble Denton Architects, 25 February 2020**

**EXCEPT AS AMENDED** by the following conditions of this approval.

## 2. INTERPRETATION PLAN

Further interpretive design development is required as an integral part of the proposed design and development. This is to clearly communicate and innovatively interpret the contribution of the affected buildings to the story and evolution of the site's layered history, including the use and function. The interpretive design must be developed in accordance with the CMP's policies and the PNHS Interpretation Strategy, including all phases of the sites development. This must be prepared by an interpretive specialist in consultation with the architect to integrate interpretation into the construction and finishes. This must be submitted to the satisfaction of Heritage NSW prior to the finalisation of detailed design for the new works.

*Reason: Because the proposal involves demolition, interpretation is required to communicate the layers of history of these site's elements. This will enhance the community's understanding of the history and heritage significance of the overall site and to ensure that the use and function of the buildings, and their historical relationship to the broader precinct and phases of history are clearly communicated. It will also mitigate against the removal of the mid-20<sup>th</sup> century additions. Innovative interpretation of the building's histories should be an integral part of the final detailed design for the new works.*

## 3. SALVAGE REPORT

The proponent must prepare a Salvage Report which identifies any material for salvage (including within ceiling and underfloor spaces), how recovery of material will be

undertaken for these items, and where this material will be stored. This should be prepared prior to demolition works proceeding and submitted to Heritage NSW for general acceptance.

*Reason: To ensure significant material is identified, and appropriately handled.*

**4. 1940s WC ADDITIONS (BUILDING C107)**

Demolition of the first floor 1940s WC addition located adjacent to the Building C105 is not approved as part of these works. However, the modern airlock can be removed as well as the internal fixtures and fittings.

*Reason: This addition provides evidence of the evolution of care and the need for improved access to WC facilities during the Parramatta Mental Hospital phase (1916-1962), and the physical changes that occurred in the mid-20th century. In addition, it has not been demonstrated that the location of this structure detracts from the spatial qualities of the adjacent yard.*

**5. NEW OPENINGS IN SANDSTONE WALLS**

Methodology for cutting into sandstone walls must be provided to Heritage NSW for general acceptance prior to this component of the works proceeding. The methodology must be determined in consultation with the nominated heritage consultant. Details must also be provided of treatment to cut edges and include details of thresholds, lintels and framing.

*Reason: To ensure the penetrations are appropriately finished, and that as little significant fabric is impacted by the works as possible.*

**6. REMOVAL OF CONCRETE RENDER FROM SANDSTONE WALLS**

Methodology for removal of concrete render from original sandstone walls must be provided to Heritage NSW for general acceptance prior to this component of the works proceeding. This must be prepared by a qualified specialist with practical experience in conservation and restoration of similar structures, materials and methods. Further, a trial of the methodology must be undertaken in a non-visually prominent area to ensure it achieves the desired outcome without damage to the sandstone. This is to be confirmed on site in consultation with the nominated heritage consultant. Confirmation of the trial including images, must be provided to Heritage NSW for general acceptance prior to its adoption across the affected buildings.

*Reason: To ensure significant fabric is not adversely impacted by the proposed works, and to provide opportunity to adjust the methodology on site if required.*

**7. CONSERVATION WORKS**

A methodology for all repair/conservation works including schedule of works is to be submitted to Heritage NSW for general acceptance prior to this component of the works proceeding.

*Reason: To ensure significant fabric is not adversely impacted by the proposed works.*

**8. STEEL-FRAMED GLAZED BOX ENTRY WITH STEEL CANOPY**

Further detailed design of the proposed steel framed glazed entry box and steel canopy including renders, and fixing details, must be provided to Heritage NSW for general acceptance prior to this component of the works proceeding.

*Reason: To ensure the installation of these elements do not have an adverse physical or visual impact on significant fabric.*

**9. NEW INTERNAL LIFT AND MEZZANINE**

**Further detailed design of the proposed internal lift and mezzanine level including renders, and fixing details into original fabric, must be provided to Heritage NSW for general acceptance prior to this component of the works proceeding.**

*Reason: To ensure the installation of these elements do not have an adverse physical and visual impact on significant fabric.*

**10. NEW SERVICES**

**Further detailed design of the proposed new building services including electrical power and lighting, communications and security, fire detection and suppression and mechanical services must be provided to Heritage NSW for general acceptance prior to these components of the works proceeding. In particular, details of mechanical ducts, location and number of external a/c condensers, fresh air intakes and exhaust vents are required.**

*Reason: To ensure the installation of these elements do not have an adverse physical and visual impact on significant fabric and spaces.*

**11. NEW TOILET/SHOWER FACILITIES**

**Further detailed design of the proposed new toilet and shower facilities including wall treatments to existing sandstone walls, and service provision to the spaces must be provided to Heritage NSW for general acceptance prior to these components of the works proceeding. In particular, further detail must be provided of the proposed WC facility on level 1 (Building C107) including floor treatment to original timber floor; and, proposed shower cubicles (Building C109) including wall treatment to sandstone walls above sill height.**

*Reason: To ensure the installation of the toilet/shower facilities do not have an adverse physical impact on significant fabric or spaces.*

**12. NEW SCREENED SERVICES ENCLOSURE**

**Further detailed design of the proposed new screened services enclosure adjacent to Building C104a, including scale, materiality and any fixing details must be provided to Heritage NSW for general acceptance prior to this component of the works proceeding.**

*Reason: To ensure the construction of the screened enclosure is of a scale, bulk, form and materiality that appropriately responds to and enhances the character of the Parramatta Lunatic Asylum buildings; and to ensure it does not obstruct significant views and vistas or adversely impact on the footprint of the early garden setting.*

**13. CAFÉ FITOUT**

**The café fitout proposed within the former Boiler Room of Building C104a is not approved.**

*Reason: A separate application with appropriate documentation will be required to undertake these works once a potential tenant is secured to ensure that the adaptive reuse meets the operator's requirements and minimises impacts.*

**14. NEW RAMP**

**Further detailed design of the proposed ramp adjacent to Building C111, including handrail details and proposed impact to the adjacent palm tree must be provided to Heritage NSW for general acceptance prior to this component of the works proceeding.**

*Reason: To ensure the construction of the ramp is of a materiality that appropriately responds to and enhances the character of the area.*

**15. HERITAGE CONSULTANT**

**A suitably qualified and experienced heritage consultant must be nominated for this project. The nominated heritage consultant must provide input into the detailed design, provide heritage information to be imparted to all tradespeople during site inductions, and oversee the works to minimise impacts to heritage values. The nominated heritage consultant must be involved in the selection of appropriate tradespersons, and must be satisfied that all work has been carried out in accordance with the conditions of this consent.**

*Reason: To ensure that appropriate heritage advice is provided to support best practice conservation and ensure works are undertaken in accordance with this approval.*

**16. APPROPRIATELY SKILLED TRADESPEOPLE**

**Only tradespeople with appropriate skills, qualifications and practical experience in conservation and restoration of similar heritage structures, materials and construction methods should be employed/contracted/sub-contracted to carry out the works. The tradespeople must undergo heritage induction by the heritage consultant.**

*Reason: To ensure that original and/or significant fabric and values are not damaged, diminished or put at risk during demolition and construction of the approved works.*

**17. SITE PROTECTION**

**Significant built elements are to be protected during site preparation and the works from potential damage, in particular during removal of the mid-20<sup>th</sup> century additions. Protection systems must ensure significant fabric is not damaged or removed.**

*Reason: To ensure that significant fabric is not damaged during the works.*

**18. PHOTOGRAPHIC ARCHIVAL RECORDING**

**A photographic archival recording of the affected buildings must be prepared prior to the commencement of works. This recording can be in digital form and must be in accordance with the NSW Heritage Division (Heritage NSW) publication Photographic Recording of Heritage Items using Digital Capture (2006). A digital copy of the archival record must be provided to Heritage NSW.**

*Reason: To capture the condition and appearance of the place prior to modification of the site which impacts significant fabric*

**19. COMPLIANCE**

**If requested, the applicant and any nominated heritage consultant may be required to participate in audits of Heritage Council of NSW approvals to confirm compliance with conditions of consent.**

*Reason: To ensure that the proposed works are completed as approved.*

**20. DURATION OF APPROVAL**

**This approval will lapse five years from the date of the consent unless the building works associated with the approval have physically commenced.**

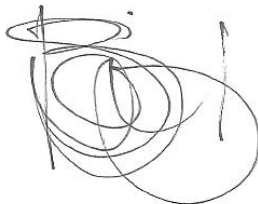
*Reason: To ensure the timely completion of works.*

**NOTE: The proposed demolition works of the mid-20<sup>th</sup> century additions have been assessed on a case-by-case basis and in consideration of cumulative impacts, to determine whether these additions are central to the heritage values of the buildings, that their demolition will not adversely impact the significance of the buildings, and that their removal will enhance the heritage significance of other more significant buildings and structures. Acceptance of these works should not be used as a basis to demolish other similar additions across the site.**

It should be noted that an approval under the *Heritage Act 1977* is additional to that which may be required from other Local Government and State Government Authorities in order to undertake works.

Should you have any queries regarding the Western Sydney Start-Up Hub conservation and adaptation works (S60/2019/227), please contact David Nix, Senior Heritage Officer, at Heritage NSW, Department of Premier and Cabinet on (02) 9895 6523 or at [david.nix@environment.nsw.gov.au](mailto:david.nix@environment.nsw.gov.au).

Yours sincerely

A handwritten signature in black ink, appearing to be 'S. J. Brazil', with a stylized flourish at the end.

**SARAH JANE BRAZIL**

Senior Team Leader, Major Projects  
Heritage NSW, Community Engagement  
Department of Premier and Cabinet

**As Delegate of the Heritage Council of NSW**

4 May 2020



# PARRAMATTA NORTH GROWTH CENTRE

## HERITAGE REPAIRS TRANCHE 2 CUMBERLAND HOSPITAL PRECINCT

### DRAWING SCHEDULE

AR.S60.0000	LOCATION PLAN AND COVER SHEET	NTS
AR.S60.0001	EXISTING SITE PLAN AND STAGING DIAGRAM	1:250
AR.S60.1001	ACTIVATION PRECINCT - PROPOSED GROUND FLOOR PLAN	1:300
AR.S60.1002	ACTIVATION PRECINCT - PROPOSED FIRST FLOOR PLAN	1:300
AR.S60.2001	BUILDINGS C104+C104a DEMOLITION GROUND FLOOR PLAN	1:100
AR.S60.2002	BUILDINGS C104+C104a PROPOSED GROUND FLOOR PLAN	1:100
AR.S60.2003	BUILDINGS C104+C104a DEMOLITION FIRST FLOOR PLAN	1:100
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AR.S60.2006	BUILDINGS C104+C104a PROPOSED ROOF PLAN	1:100
AR.S60.2007	BUILDINGS C104+C104a DEMOLITION/PROPOSED SOUTH ELEVATION	1:100
AR.S60.2008	BUILDINGS C104+C104a DEMOLITION/PROPOSED NORTH ELEVATION	1:100
AR.S60.2009	BUILDINGS C104+C104a DEMOLITION/PROPOSED EAST ELEVATION & SECTION	1:100
AR.S60.4001	BUILDING C107 DEMOLITION/PROPOSED GROUND FLOOR PLAN	1:100
AR.S60.4002	BUILDING C107 DEMOLITION/PROPOSED FIRST FLOOR PLAN	1:100
AR.S60.4003	BUILDINGS C107+C104 DEMOLITION/PROPOSED WEST ELEVATION	1:100
AR.S60.6001	BUILDING C111 DEMOLITION/PROPOSED GROUND & FIRST FLOOR PLANS	1:100
AR.S60.6002	BUILDING C111 DEMOLITION/PROPOSED ROOF PLAN	1:100
AR.S60.6003	BUILDING C111 DEMOLITION/PROPOSED NORTH & WEST ELEVATIONS	1:100
AR.S60.6004	BUILDING C111 DEMOLITION/PROPOSED SOUTH & EAST ELEVATIONS	1:100

### FLOOR AREA SCHEDULE

C104	G.01	147 sqm
	G.02	35 sqm
	G.03	42 sqm
	G.04	7 sqm
	G.05	8 sqm
	G.06	6 sqm
	TOTAL	205 sqm
	1.01	113 sqm
	1.02	1.5 sqm
	1.03	17.5 sqm
	TOTAL	172 sqm
C104a	G.01	73 sqm
	G.02	57 sqm
	G.03	73 sqm
	G.04	21 sqm
	G.05	6 sqm
	TOTAL	230 sqm
C107	G.01	133 sqm
	G.02	144 sqm
	G.03a	15 sqm
	G.03b	13 sqm

C107	G.04	12.5 sqm
	G.05	136 sqm
	G.06	7 sqm
	G.07	7 sqm
	G.08	15 sqm
	G.09	15 sqm
	G.10	7 sqm
	G.11	7 sqm
	G.12	15 sqm
	G.13	15 sqm
	G.14	15 sqm
	G.15	15 sqm
	G.16	7 sqm
	TOTAL	578.5 sqm
	1.01	132 sqm
	1.02a	100 sqm
	1.02b	41 sqm
	1.03	21 sqm
	1.04	5 sqm
	1.05	10.5 sqm
	1.06	136 sqm
	1.07	7 sqm

C107	1.08	7 sqm
	1.09	15 sqm
	1.10	15 sqm
	1.11	7 sqm
	1.12	7 sqm
	1.13	15 sqm
	1.14	15 sqm
	1.15	15 sqm
	1.16	15 sqm
	1.17	7 sqm
	TOTAL	570.5 sqm
C111	G.01	40 sqm
	G.02	91 sqm
	G.03	41 sqm
	G.04	30 sqm
	G.05	17 sqm
	TOTAL	342 sqm
	1.01	35 sqm
	TOTAL	35 sqm


**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**

Application No: S60/2019/227

Approved by: the Heritage Council of NSW  
Delegated Authority

On: 04/05/2020

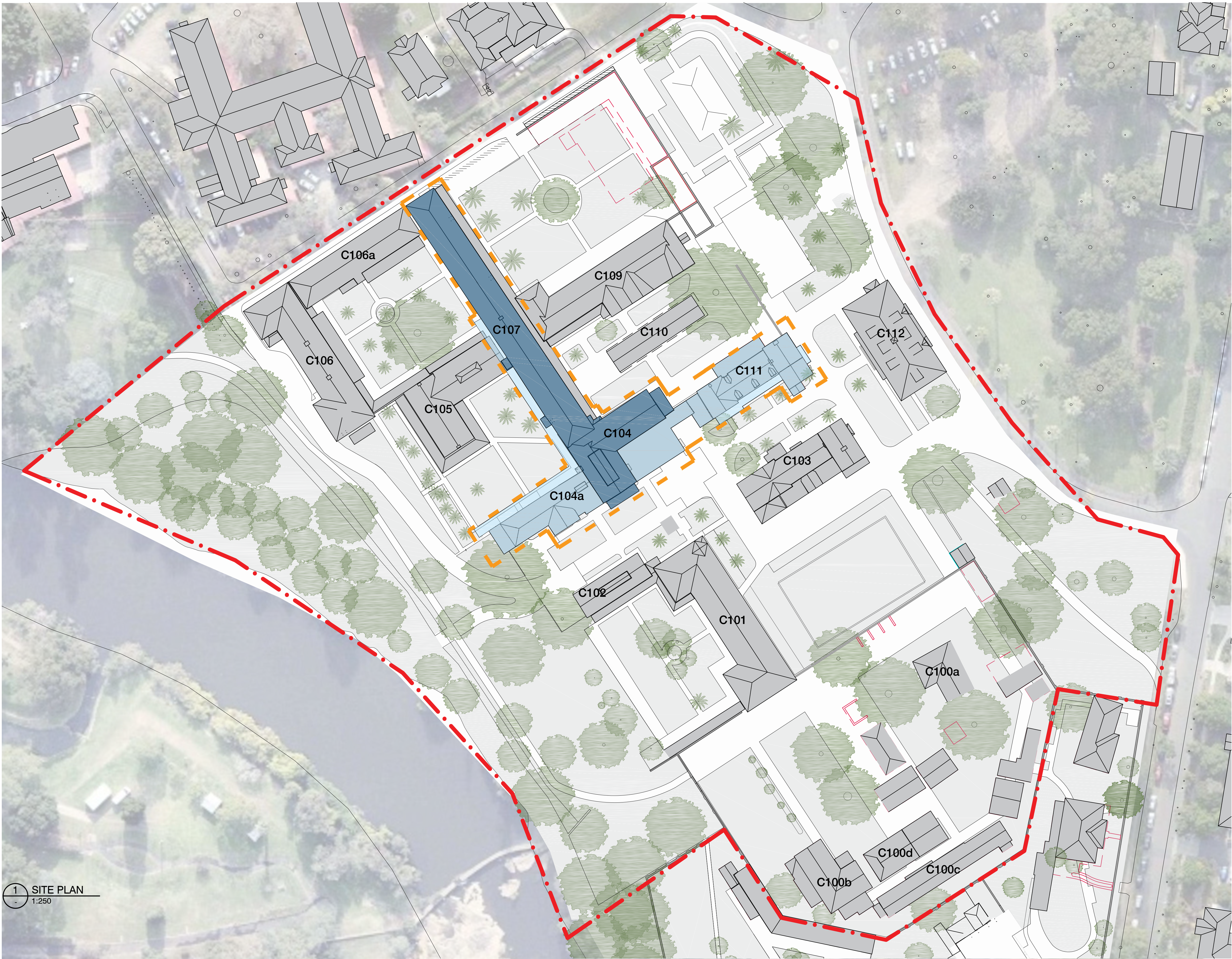
These plans should be read in conjunction with  
the decision notice

  
(for) Delegate  
Heritage Council



LOCATION PLAN





1 SITE PLAN  
1:250


**HERITAGE ACT 1977**  
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- STAGE 1 WORKS - BUILDING C107, C104 (EXCLUDING DEMOLITION OF INTRUSIVE ADDITION)
- FUTURE STAGE WORKS - C104a, C111, C104 (DEMOLITION OF INTRUSIVE ADDITION), C107 VERANDAH
- HISTORIC CORE NORTH - FEMALE FACTORY/ASYLUM PRECINCT BOUNDARY
- PROPOSED WORKS BOUNDARY





SITE PLAN

CLIENT  
**Infrastructure NSW**

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PO BOX R220  
Royal Exchange NSW 2010



PROJECT MANAGER  
**Aver**

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Level 1, 171 William St  
Darlinghurst, NSW, 2010



Key

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No: S60/2019/227**  
**Approved by: the Heritage Council of NSW**  
**Delegated Authority**  
**On: 04/05/2020**  
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**EH**  
**(for) Delegate**  
**Heritage Council**

Abbreviations  
(E) EXISTING  
(N) PROPOSED

Rev	Date	Description	Checked	Auth
P1	14.10.19	Preliminary Draft	SW	CMJ
P2	22.10.19	Draft 2	SW	CMJ
P3	29.10.19	Draft 3	SW	CMJ
P4	25.11.19	Final Draft	SW	CMJ
A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
<b>CMJ</b>	<b>SW</b>	<b>CS</b>
Job No.	Sheet	Scale
<b>160481</b>	<b>A1</b>	<b>1:300</b>

NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

10 20 30 40 50

Project  
**PARRAMATTA NORTH GROWTH CENTRE**  
**HERITAGE REPAIRS - TRANCHE 2**  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
ACTIVATION PRECINCT GROUND FLOOR PLAN

Drawing No.

**AR.S60.1001**

Revision

**A**

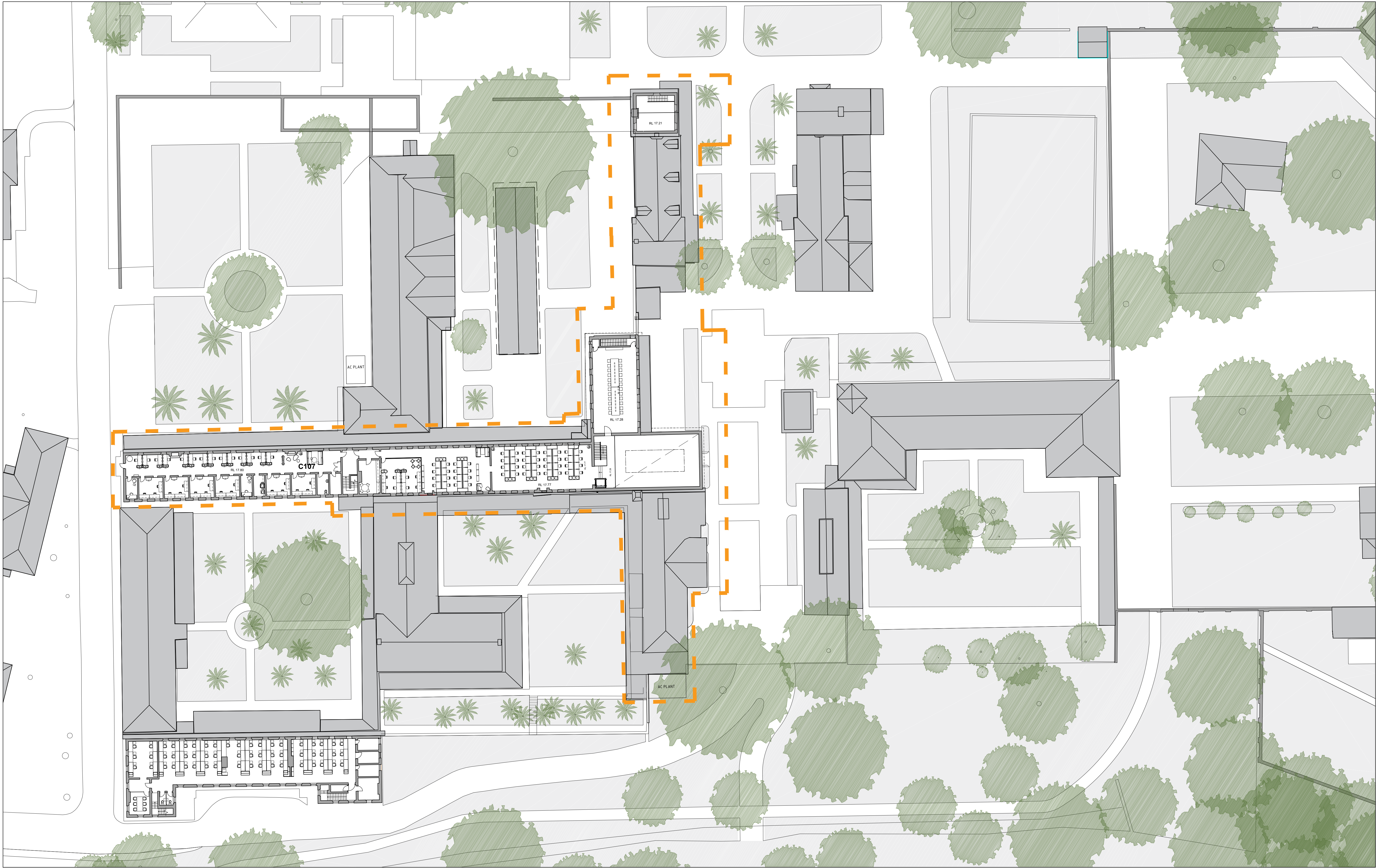
**FOR INFORMATION ONLY**

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Tanner Kibble Denton





SITE PLAN

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**APPLICATION UNDER SECTION 60**

**Application No:** S60/2019/227

**Approved by:** the Heritage Council of NSW  
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**On:** 04/05/2020

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*[Signature]*  
(for) Delegate  
Heritage Council

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P4	25.11.19	Final Draft	SW	CMJ
A	28.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
<b>CMJ</b>	<b>SW</b>	<b>CS</b>
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NSW Nominated Architects:  
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Project  
**PARRAMATTA NORTH GROWTH CENTRE**  
**HERITAGE REPAIRS - TRANCHE 2**

Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
ACTIVATION PRECINCT FIRST FLOOR PLAN

Drawing No.  
**AR.S60.1002**

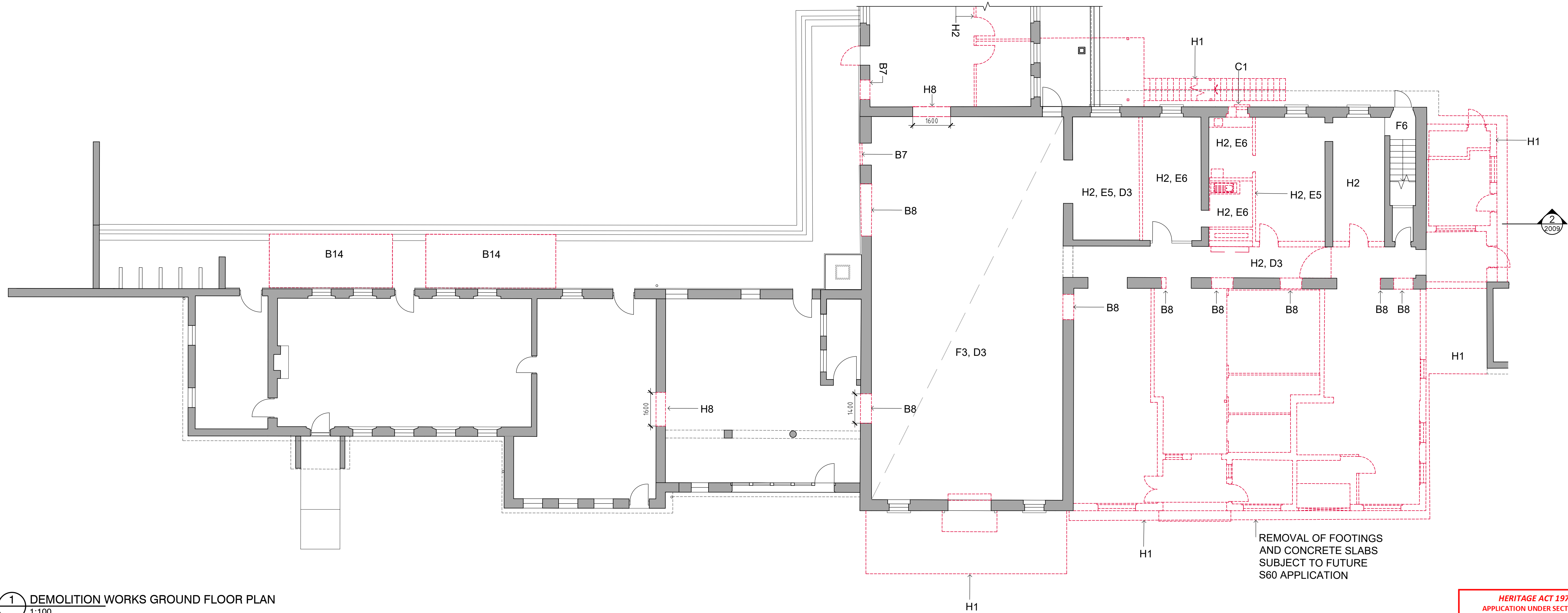
Revision  
**A**

FOR INFORMATION ONLY

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1 DEMOLITION WORKS GROUND FLOOR PLAN  
1:100

REMOVAL OF FOOTINGS  
AND CONCRETE SLABS  
SUBJECT TO FUTURE  
S60 APPLICATION

**HERITAGE ACT 1977**  
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**Application No: S60/2019/227**  
**Approved by: the Heritage Council of NSW**  
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**On: 04/05/2020**  
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**SH**  
**(for) Delegate**  
**Heritage Council**

EXTERNAL CONSERVATION WORKS LEGEND:

- |          |   |  |   |
|----------|---|--|---|
| ROOFWORK | A7  | Repair timber fascias, barge boards, eaves linings, fretwork and mouldings |   |
| A1       | Provide safe access for inspection of roof framing                            | A8   | Repair roof lantern - structure, louvres, cladding and windows  |
| A2       | Repair roof framing to engineer's details                                     | A9   | Repair roof dormer - structure, cladding and windows  |
| A3       | Replace deteriorated Welsh roof slates with new TME                           | A10  | Repair galvanised steel vents   |
| A4       | Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME | A11  | Prime and repaint all new and previously painted timber elements TME or original colour                                     |
| A5       | Replace deteriorated lead flashings, ridge and hip cappings with new TME      | A12  | Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains |
| A6       | Remove redundant and intrusive services penetrations                          |  |   |

- STONEMWORK AND BRICKWORK
- |    |  |
|----|--|
| B1 | Repair cracked stonework to engineer's detail                      |
| B2 | Remove corroded embedments and redundant services and patch repair |
| B3 | Rub back areas of minor surface damage                             |
| B4 | Repair unsound stone with mortar patch                             |
| B5 | Replace damaged stone with stone indent                            |
| B6 | Replace missing, loose and non-matching pointing with new TME      |
| B7 | Remove infill/door and reconstruct stonework TME                   |

- |     |  |
|-----|--|
| B8  | Remove infill and reconstruct opening in stonework to original detail            |
| B9  | Remove doorway and reconstruct window to original detail                         |
| B10 | Repair all cast iron wall vents  |
| B11 | Repair sandstone flagging to verandah replacing deteriorated stones with new TME |
| B12 | Check over all brickwork and repair as necessary                                 |
| B13 | Repair render finishes   |
| B14 | Demolish concrete floor slabs and re-instate verandah floor                      |

- WINDOWS AND DOORS
- |    |   |
|----|---|
| C1 | Reconstruct original door and window joinery to original detail                         |
| C2 | Repair damaged door and window joinery to original detail                               |
| C3 | Make all windows and doors operable   |
| C4 | Prime and repaint all new and previously painted timber elements TME or original colour |
| C5 | Replace damaged glazing and putty   |
| C6 | Repair and repaint cast iron window grilles   |
| C7 | Lock doors shut   |

INTERNAL CONSERVATION WORKS LEGEND:

- WALLS
- |    |   |
|----|---|
| D1 | Repair plaster finish                                   |
| D2 | Apply new plaster finish TME                            |
| D3 | Remove wall tiles and repair wall finish                |
| D4 | Remove plasterboard wall linings and associated fixings |
- CEILINGS
- |    |                                     |
|----|-------------------------------------|
| E1 | Repair ripple iron ceiling          |
| E2 | Repair timber boarded ceiling       |
| E3 | Install new ripple iron ceiling TME |

- |    |                                      |
|----|--------------------------------------|
| E4 | Install new timber board ceiling TME |
| E5 | Remove FC ceiling                    |
| E6 | Remove PB ceiling                    |
- FLOORS
- |    |  |
|----|--|
| F1 | Repair timber flooring and floor structure                                     |
| F2 | Repair concrete floor  |
| F3 | Remove concrete topping from concrete slab and repair slab                     |
| F4 | Repair timber skirtings and replace deteriorated timber skirtings with new TME |
| F5 | New timber skirtings TME   |

- |    |  |
|----|--|
| F6 | Remove carpet  |
| F7 | Repair flagstone floor   |
| F8 | Construct raised timber floor and ramps (1.25) above reinstated verandah floor |
- DOORS
- |    |  |
|----|--|
| G1 | Repair timber joinery door, frame and architraves  |
| G2 | New timber joinery door, frame and architraves TME |

ADAPTATION WORKS LEGEND:

- ADAPTATION WORKS
- |    |  |
|----|--|
| H1 | Demolish intrusive additions and repair original fabric                |
| H2 | Remove internal fit-out  |
| H3 | New steel-framed stair and mezzanine                                   |
| H4 | New lift for equitable access  |
| H5 | New workstations and loose furniture                                   |
| H6 | New electrical, communications, fire detection and mechanical services |
| H7 | New sanitary facilities  |
| H8 | Create new opening in wall   |
| H9 | Reconstruct verandah to original detail                                |

- |     |  |
|-----|--|
|     | including new/repared sandstone edging |
| H10 | Reconstruct 1880s doorway and door     |
| H11 | New glazed entry door with awning over |
| H12 | Remove block-out panel from window     |
| H13 | New glazed door                        |
| H14 | New lightweight partition              |
| H15 | New glazed partition                   |
| H16 | New doorway                            |
| H17 | Lock doors shut                        |
| H18 | Re-swing door                          |
| H19 | Construct new verandah extension       |
| H20 | Install new timber stair               |

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Key

Abbreviations  
(E) EXISTING  
(N) PROPOSED

Rev	Date	Description	Checked	Auth.
P1	29.10.19	Preliminary Draft	SW	CMJ
P2	25.11.19	Final Draft	SW	CMJ
A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
CMJ	SW	JF
Job No.	Sheet	Scale
160481	A1	1:100

NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2

Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C104 + C104a - DEMOLITION GROUND  
PLAN

Drawing No.

Revision

AR.S60.2001

A

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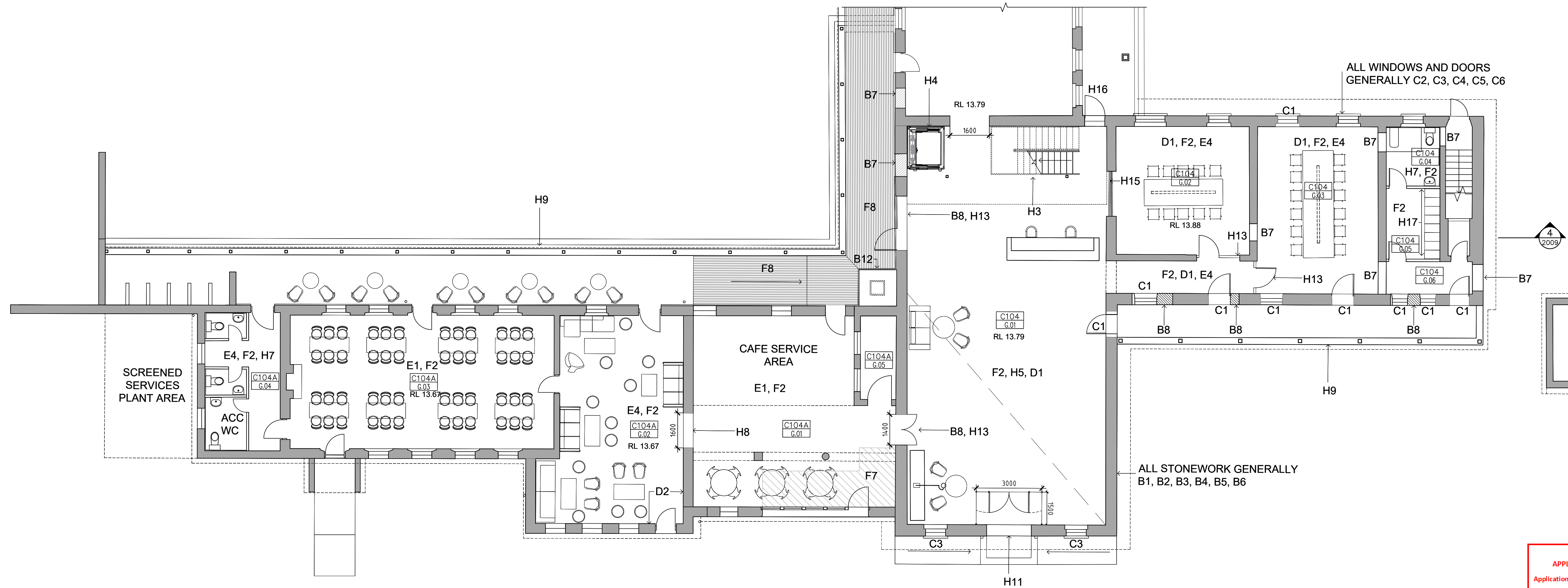
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1 PROPOSED WORKS GROUND FLOOR PLAN  
1:100

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No:** S60/2019/227  
**Approved by:** the Heritage Council of NSW  
Delegated Authority  
**On:** 04/05/2020  
These plans should be read in conjunction with  
the decision notice  
  
(for) Delegate  
Heritage Council

**NOTE:**  
NEW FIT-OUT INDICATIVE ONLY

EXTERNAL CONSERVATION WORKS LEGEND:

- |  |   |
|--|---|
| <b>ROOFWORK</b><br>A1 Provide safe access for inspection of roof framing<br>A2 Repair roof framing to engineer's details<br>A3 Replace deteriorated Welsh roof slates with new TME<br>A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME<br>A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME<br>A6 Remove redundant and intrusive services penetrations | <b>ROOFWORK</b><br>A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings<br>A8 Repair roof lantern - structure, louvres, cladding and windows<br>A9 Repair roof dormer - structure, cladding and windows<br>A10 Repair galvanised steel vents<br>A11 Prime and repaint all new and previously painted timber elements TME or original colour<br>A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains |
|--|---|

- STONEMASONRY AND BRICKWORK**  
B1 Repair cracked stonework to engineer's detail  
B2 Remove corroded embedments and redundant services and patch repair  
B3 Rub back areas of minor surface damage  
B4 Repair unsound stone with mortar patch  
B5 Replace damaged stone with stone indent  
B6 Replace missing, loose and non-matching pointing with new TME  
B7 Remove infill/door and reconstruct stonework TME

- STONEMASONRY AND BRICKWORK**  
B8 Remove infill and reconstruct opening in stonework to original detail  
B9 Remove doorway and reconstruct window to original detail  
B10 Repair all cast iron wall vents  
B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME  
B12 Check over all brickwork and repair as necessary  
B13 Repair render finishes  
B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS**  
C1 Reconstruct original door and window joinery to original detail  
C2 Repair damaged door and window joinery to original detail  
C3 Make all windows and doors operable  
C4 Prime and repaint all new and previously painted timber elements TME or original colour  
C5 Replace damaged glazing and putty  
C6 Repair and repaint cast iron window grilles  
C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- |   |   |
|---|---|
| <b>WALLS</b><br>D1 Repair plaster finish<br>D2 Apply new plaster finish TME<br>D3 Remove wall tiles and repair wall finish<br>D4 Remove plasterboard wall linings and associated fixings  | <b>WALLS</b><br>E4 Install new timber board ceiling TME<br>E5 Remove FC ceiling<br>E6 Remove PB ceiling   |
| <b>FLOORS</b><br>F1 Repair timber flooring and floor structure<br>F2 Repair concrete floor<br>F3 Remove concrete topping from concrete slab and repair slab<br>F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME<br>F5 New timber skirtings TME | <b>FLOORS</b><br>F6 Remove carpet<br>F7 Repair flagstone floor<br>F8 Construct raised timber floor and ramps (1:25) above reinstated verandah floor |
| <b>CEILING</b><br>E1 Repair ripple iron ceiling<br>E2 Repair timber boarded ceiling<br>E3 Install new ripple iron ceiling TME   | <b>CEILING</b><br>G1 Repair timber joinery door, frame and architraves<br>G2 New timber joinery door, frame and architraves TME                     |

- ADAPTATION WORKS LEGEND:**  
**ADAPTATION WORKS**  
H1 Demolish intrusive additions and repair original fabric  
H2 Remove internal fit-out  
H3 New steel-framed stair and mezzanine  
H4 New lift for equitable access  
H5 New workstations and loose furniture  
H6 New electrical, communications, fire detection and mechanical services  
H7 New sanitary facilities  
H8 Create new opening in wall  
H9 Reconstruct verandah to original detail

- ADAPTATION WORKS**  
H10 Reconstruct 1880s doorway and door  
H11 New glazed entry door with awning over  
H12 Remove block-out panel from window  
H13 New glazed door  
H14 New lightweight partition  
H15 New glazed partition  
H16 New doorway  
H17 Lock doors shut  
H18 Re-swing door  
H19 Construct new verandah extension  
H20 Install new timber stair

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PROJECT MANAGER  
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Key

Abbreviations  
(E) EXISTING  
(N) PROPOSED

Rev	Date	Description	Checked	Auth.
P1	29.10.19	Preliminary Draft	SW	CMJ
P2	18.11.19	For Client Review	SW	CMJ
P3	25.11.19	Final Draft	SW	CMJ
A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
CMJ	SW	JF
Job No.	Sheet	Scale
160481	A1	1:100

NSW Nominated Architects:  
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Alex Kibble  
Registration No. 5782  
Registration No. 6015

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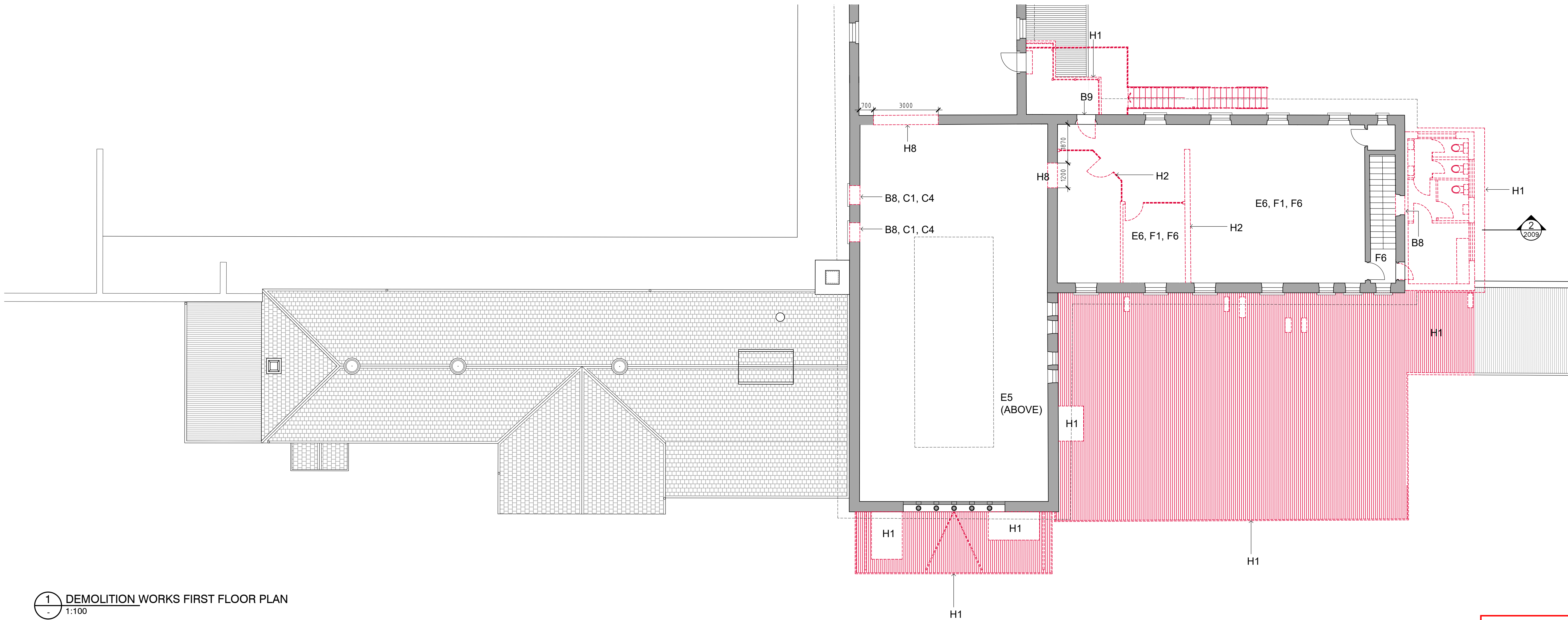
Project  
**PARRAMATTA NORTH GROWTH CENTRE**  
**HERITAGE REPAIRS - TRANCHE 2**  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
**BUILDING C104 + C104a - PROPOSED GROUND**  
**FLOOR PLAN**  
Drawing No.  
**AR.S60.2002**

Revision  
**A**

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1 DEMOLITION WORKS FIRST FLOOR PLAN  
1:100

EXTERNAL CONSERVATION WORKS LEGEND:

- |          |   |  |                         |  |   |
|----------|---|--|-------------------------|--|---|
| ROOFWORK | A7  | Repair timber fascias, barge boards, eaves linings, fretwork and mouldings | STONEWORK AND BRICKWORK | B8   | Remove infill and reconstruct opening in stonework to original detail |
| A1       | Provide safe access for inspection of roof framing                            |  | B1                      | Repair cracked stonework to engineer's detail                                    |   |
| A2       | Repair roof framing to engineer's details                                     |  | B2                      | Remove corroded embedments and redundant services and patch repair               |   |
| A3       | Replace deteriorated Welsh roof slates with new TME                           |  | B3                      | Rub back areas of minor surface damage   |   |
| A4       | Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME |  | B4                      | Repair unsound stone with mortar patch   |   |
| A5       | Replace deteriorated lead flashings, ridge and hip cappings with new TME      |  | B5                      | Replace damaged stone with stone indent  |   |
| A6       | Remove redundant and intrusive services penetrations                          |  | B6                      | Replace missing, loose and non-matching pointing with new TME                    |   |
|          |   |  | B7                      | Remove infill/door and reconstruct stonework TME                                 |   |
|          |   |  | B10                     | Repair all cast iron wall vents  |   |
|          |   |  | B11                     | Repair sandstone flagging to verandah replacing deteriorated stones with new TME |   |
|          |   |  | B12                     | Check over all brickwork and repair as necessary                                 |   |
|          |   |  | B13                     | Repair render finishes   |   |
|          |   |  | B14                     | Demolish concrete floor slabs and re-instate verandah floor                      |   |

- WINDOWS AND DOORS
- C1 Reconstruct original door and window joinery to original detail
- C2 Repair damaged door and window joinery to original detail
- C3 Make all windows and doors operable
- C4 Prime and repaint all new and previously painted timber elements TME or original colour
- C5 Replace damaged glazing and putty
- C6 Repair and repaint cast iron window grilles
- C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- |          |   |                            |        |  |  |  |  |   |
|----------|---|----------------------------|--------|--|--|--|--|---|
| WALLS    | D1  | Repair plaster finish      | E4     | Install new timber board ceiling TME   | F6   | Remove carpet  |  |   |
| D2       | Apply new plaster finish TME                            |                            | E5     | Remove FC ceiling  | F7   | Repair flagstone floor   |  |   |
| D3       | Remove wall tiles and repair wall finish                |                            | E6     | Remove PB ceiling  | F8   | Construct raised timber floor and ramps (1:25) above reinstated verandah floor |  |   |
| D4       | Remove plasterboard wall linings and associated fixings |                            |        |  |  |  |  |   |
| CEILINGS | E1  | Repair ripple iron ceiling | FLOORS | F1   | Repair timber flooring and floor structure | DOORS  | G1   | Repair timber joinery door, frame and architraves |
| E2       | Repair timber boarded ceiling                           |                            | F2     | Repair concrete floor  |  | G2   | New timber joinery door, frame and architraves TME |   |
| E3       | Install new ripple iron ceiling TME                     |                            | F3     | Remove concrete topping from concrete slab and repair slab                     |  |  |  |   |
|          |   |                            | F4     | Repair timber skirtings and replace deteriorated timber skirtings with new TME |  |  |  |   |
|          |   |                            | F5     | New timber skirtings TME   |  |  |  |   |

ADAPTATION WORKS LEGEND:

- |                  |  |   |     |  |
|------------------|--|---|-----|--|
| ADAPTATION WORKS | H1   | Demolish intrusive additions and repair original fabric | H10 | Reconstruct 1880s doorway and door     |
| H2               | Remove internal fit-out  |   | H11 | New glazed entry door with awning over |
| H3               | New steel-framed stair and mezzanine                                   |   | H12 | Remove block-out panel from window     |
| H4               | New lift for equitable access  |   | H13 | New glazed door                        |
| H5               | New workstations and loose furniture                                   |   | H14 | New lightweight partition              |
| H6               | New electrical, communications, fire detection and mechanical services |   | H15 | New glazed partition                   |
| H7               | New sanitary facilities  |   | H16 | New doorway                            |
| H8               | Create new opening in wall   |   | H17 | Lock doors shut                        |
| H9               | Reconstruct verandah to original detail                                |   | H18 | Re-swing door                          |
|                  |  |   | H19 | Construct new verandah extension       |
|                  |  |   | H20 | Install new timber stair               |

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Key

Abbreviations  
(E) EXISTING  
(N) PROPOSED

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A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
CMJ	SW	JF
Job No.	Sheet	Scale

160481 A1 1:100

NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C104 + C104a - DEMOLITION FIRST  
FLOOR PLAN  
Drawing No.

AR.S60.2003

Revision

A

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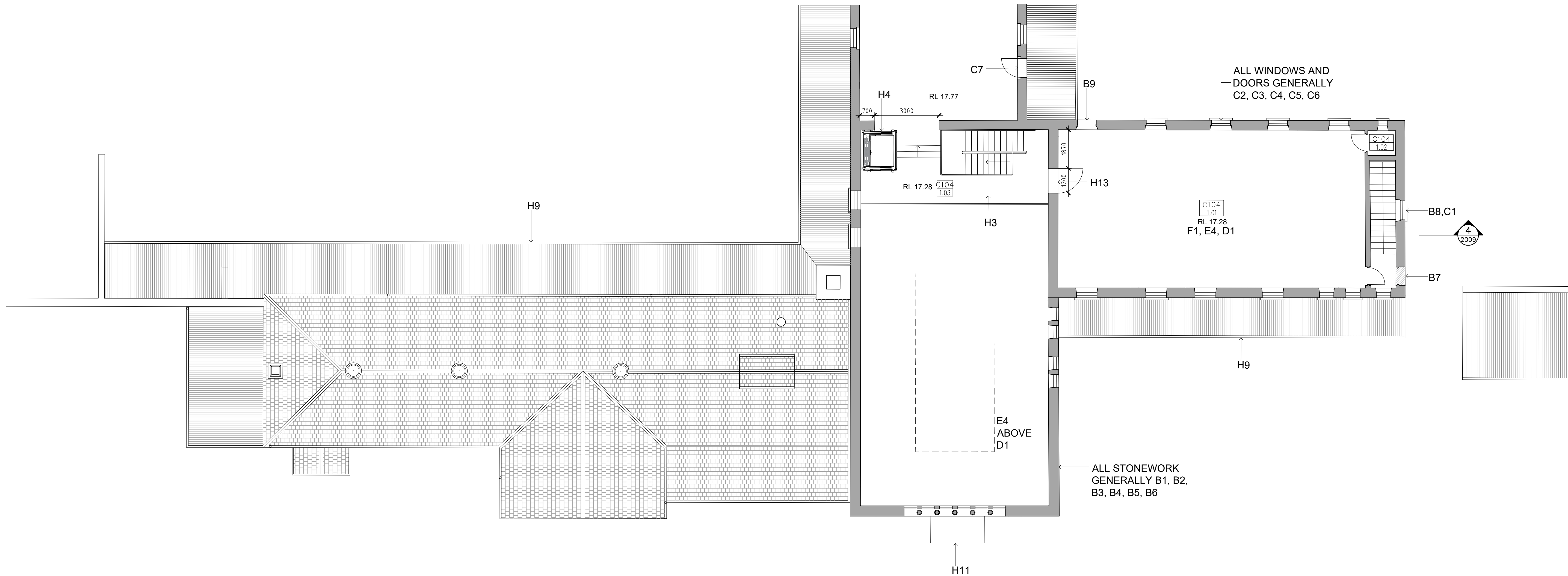
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1 PROPOSED WORKS FIRST FLOOR PLAN  
1:100

HERITAGE ACT 1977  
APPLICATION UNDER SECTION 60

Application No: 560/2019/227

Approved by: the Heritage Council of NSW  
Delegated Authority

On: 04/05/2020

These plans should be read in conjunction with  
the decision notice

  
(for) Delegate  
Heritage Council

#### EXTERNAL CONSERVATION WORKS LEGEND:

ROOFWORK  
A1 Provide safe access for inspection of roof framing  
A2 Repair roof framing to engineer's details  
A3 Replace deteriorated Welsh roof slates with new TME  
A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME  
A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME  
A6 Remove redundant and intrusive services penetrations

A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings  
A8 Repair roof lantern - structure, louvres, cladding and windows  
A9 Repair roof dormer - structure, cladding and windows  
A10 Repair galvanised steel vents  
A11 Prime and repaint all new and previously painted timber elements TME or original colour  
A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

STONEWORK AND BRICKWORK  
B1 Repair cracked stonework to engineer's detail  
B2 Remove corroded embedments and redundant services and patch repair  
B3 Rub back areas of minor surface damage  
B4 Repair unsound stone with mortar patch  
B5 Replace damaged stone with stone indent  
B6 Replace missing, loose and non-matching pointing with new TME  
B7 Remove infill/door and reconstruct stonework TME

B8 Remove infill and reconstruct opening in stonework to original detail  
B9 Remove doorway and reconstruct window to original detail  
B10 Repair all cast iron wall vents  
B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME  
B12 Check over all brickwork and repair as necessary  
B13 Repair render finishes  
B14 Demolish concrete floor slabs and re-instate verandah floor

WINDOWS AND DOORS  
C1 Reconstruct original door and window joinery to original detail  
C2 Repair damaged door and window joinery to original detail  
C3 Make all windows and doors operable  
C4 Prime and repaint all new and previously painted timber elements TME or original colour  
C5 Replace damaged glazing and putty  
C6 Repair and repaint cast iron window grilles  
C7 Lock doors shut

#### INTERNAL CONSERVATION WORKS LEGEND:

WALLS  
D1 Repair plaster finish  
D2 Apply new plaster finish TME  
D3 Remove wall tiles and repair wall finish  
D4 Remove plasterboard wall linings and associated fixings  
CEILINGS  
E1 Repair ripple iron ceiling  
E2 Repair timber boarded ceiling  
E3 Install new ripple iron ceiling TME

E4 Install new timber board ceiling TME  
E5 Remove FC ceiling  
E6 Remove PB ceiling  
FLOORS  
F1 Repair timber flooring and floor structure  
F2 Repair concrete floor  
F3 Remove concrete topping from concrete slab and repair slab  
F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME  
F5 New timber skirtings TME

F6 Remove carpet  
F7 Repair flagstone floor  
F8 Construct raised timber floor and ramps (1:25) above reinstated verandah floor  
DOORS  
G1 Repair timber joinery door, frame and architraves  
G2 New timber joinery door, frame and architraves TME

#### ADAPTATION WORKS LEGEND:

ADAPTATION WORKS  
H1 Demolish intrusive additions and repair original fabric  
H2 Remove internal fit-out  
H3 New steel-framed stair and mezzanine  
H4 New lift for equitable access  
H5 New workstations and loose furniture  
H6 New electrical, communications, fire detection and mechanical services  
H7 New sanitary facilities  
H8 Create new opening in wall  
H9 Reconstruct verandah to original detail

including new/repared sandstone edging  
H10 Reconstruct 1880s doorway and door  
H11 New glazed entry door with awning over  
H12 Remove block-out panel from window  
H13 New glazed door  
H14 New lightweight partition  
H15 New glazed partition  
H16 New doorway  
H17 Lock doors shut  
H18 Re-swing door  
H19 Construct new verandah extension  
H20 Install new timber stair

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Infrastructure NSW

PROJECT MANAGER  
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Key

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Alex Kibble  
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Project  
PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C104 + C104a - PROPOSED FIRST  
FLOOR PLAN  
Drawing No.

Revision

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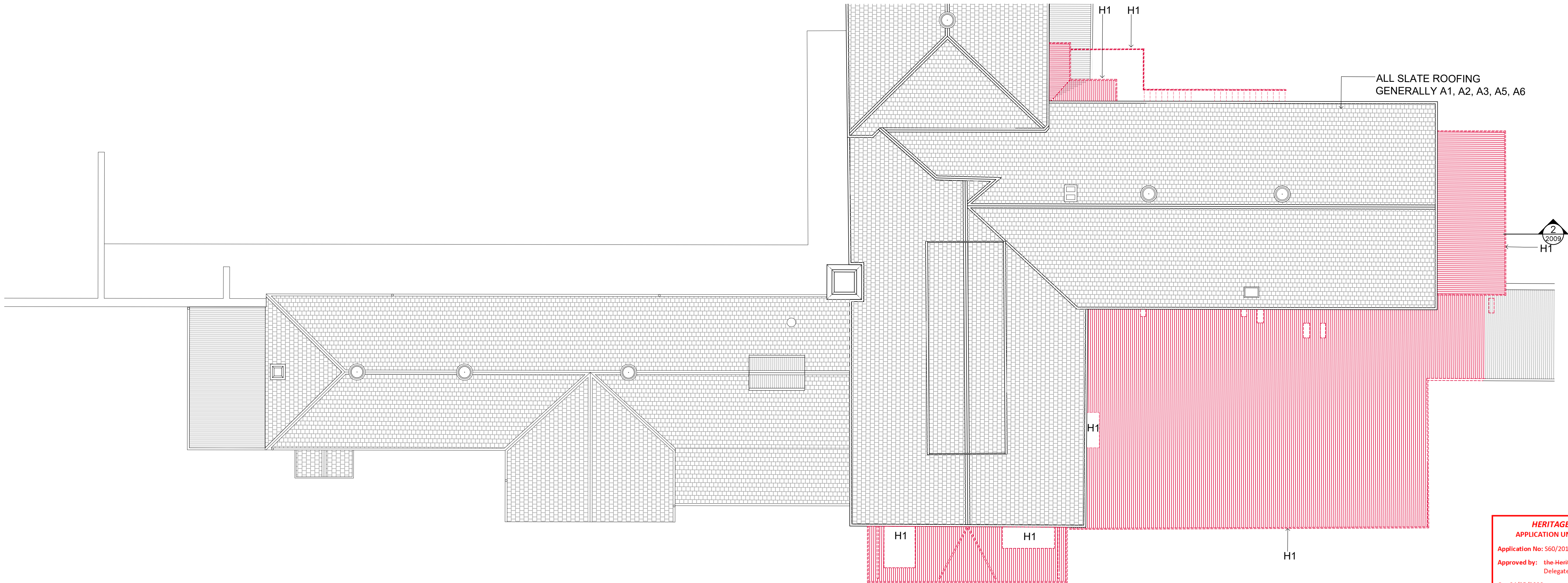


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AR.S60.2004

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1 DEMOLITION WORKS ROOF PLAN  
1:100

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No:** 560/2019/227  
**Approved by:** the Heritage Council of NSW  
Delegated Authority  
**On:** 04/05/2020  
**These plans should be read in conjunction with the decision notice**  
  
(for) Delegate  
Heritage Council

**NOTE:**

BUILDING C104 ROOF REPAIR  
WORKS HAS S57(2) APPROVAL

**EXTERNAL CONSERVATION WORKS LEGEND:**

- ROOFWORK**
- A1 Provide safe access for inspection of roof framing
  - A2 Repair roof framing to engineer's details
  - A3 Replace deteriorated Welsh roof slates with new TME
  - A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME
  - A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME
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- A11 Prime and repaint all new and previously painted timber elements TME or original colour
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- STONEWORK AND BRICKWORK**
- B1 Repair cracked stonework to engineer's detail
  - B2 Remove corroded embedments and redundant services and patch repair
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  - B4 Repair unsound stone with mortar patch
  - B5 Replace damaged stone with stone indent
  - B6 Replace missing, loose and non-matching pointing with new TME
  - B7 Remove infill/door and reconstruct stonework TME

- B8 Remove infill and reconstruct opening in stonework to original detail
- B9 Remove doorway and reconstruct window to original detail
- B10 Repair all cast iron wall vents
- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
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- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS**
- C1 Reconstruct original door and window joinery to original detail
  - C2 Repair damaged door and window joinery to original detail
  - C3 Make all windows and doors operable
  - C4 Prime and repaint all new and previously painted timber elements TME or original colour
  - C5 Replace damaged glazing and putty
  - C6 Repair and repaint cast iron window grilles
  - C7 Lock doors shut

**INTERNAL CONSERVATION WORKS LEGEND:**

- WALLS**
- D1 Repair plaster finish
  - D2 Apply new plaster finish TME
  - D3 Remove wall tiles and repair wall finish
  - D4 Remove plasterboard wall linings and associated fixings
- CEILINGS**
- E1 Repair ripple iron ceiling
  - E2 Repair timber boarded ceiling
  - E3 Install new ripple iron ceiling TME

- E4 Install new timber board ceiling TME
  - E5 Remove FC ceiling
  - E6 Remove PB ceiling
- FLOORS**
- F1 Repair timber flooring and floor structure
  - F2 Repair concrete floor
  - F3 Remove concrete topping from concrete slab and repair slab
  - F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
  - F5 New timber skirtings TME

- F6 Remove carpet
  - F7 Repair flagstone floor
  - F8 Construct raised timber floor and ramps (1:25) above reinstated verandah floor
- DOORS**
- G1 Repair timber joinery door, frame and architraves
  - G2 New timber joinery door, frame and architraves TME

**ADAPTATION WORKS LEGEND:**

- ADAPTATION WORKS**
- H1 Demolish intrusive additions and repair original fabric
  - H2 Remove internal fit-out
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- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

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**Infrastructure NSW**

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Royal Exchange NSW 2010



PROJECT MANAGER  
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Key

Abbreviations  
(E) EXISTING  
(N) PROPOSED

Rev	Date	Description	Checked	Auth.
P1	29.10.19	Preliminary Draft	SW	CMJ
P2	25.11.19	Final Draft	SW	CMJ
A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
CMJ	SW	JF
Job No.	Sheet	Scale

**160481 A1 1:100**

NSW Nominated Architects:  
Robert Denton Registration No. 5782  
Alex Kibble Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

10 20 30 40 50

Project  
**PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2**

Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
**BUILDING C104 + C104a - DEMOLITION ROOF  
PLAN**

Drawing No.

**AR.S60.2005**

Revision

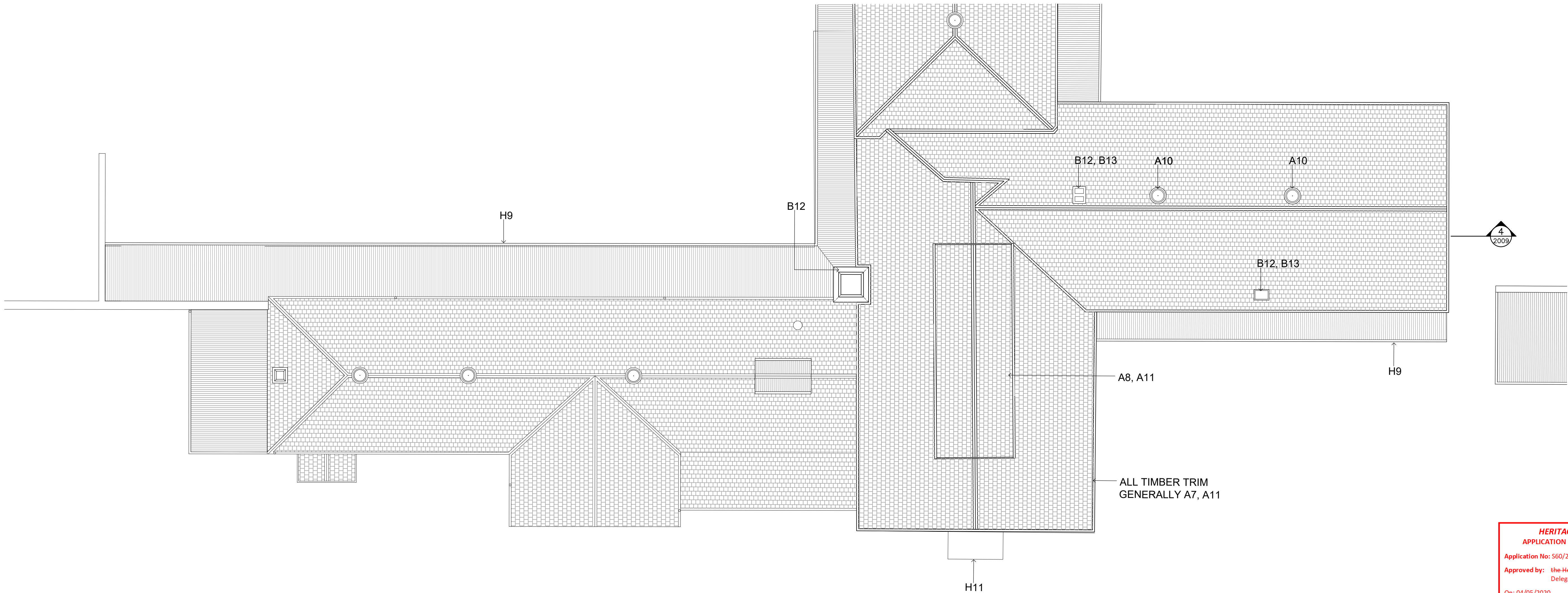
**A**

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**TKDArchitects**  
Tanner Kibble Denton





1 PROPOSED WORKS ROOF PLAN  
1:100

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No: S60/2019/227**  
**Approved by:** the Heritage Council of NSW  
Delegated Authority  
**On: 04/05/2020**  
**These plans should be read in conjunction with the decision notice**  
  
(for) Delegate  
Heritage Council

**NOTE:**

BUILDING C104 ROOF REPAIR  
WORKS HAS S57(2) APPROVAL

**EXTERNAL CONSERVATION WORKS LEGEND:**

- ROOFWORK**
- A1 Provide safe access for inspection of roof framing
  - A2 Repair roof framing to engineer's details
  - A3 Replace deteriorated Welsh roof slates with new TME
  - A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME
  - A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME
  - A6 Remove redundant and intrusive services penetrations

- A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings
- A8 Repair roof lantern - structure, louvres, cladding and windows
- A9 Repair roof dormer - structure, cladding and windows
- A10 Repair galvanised steel vents
- A11 Prime and repaint all new and previously painted timber elements TME or original colour
- A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

- STONEWORK AND BRICKWORK**
- B1 Repair cracked stonework to engineer's detail
  - B2 Remove corroded embedments and redundant services and patch repair
  - B3 Rub back areas of minor surface damage
  - B4 Repair unsound stone with mortar patch
  - B5 Replace damaged stone with stone indent
  - B6 Replace missing, loose and non-matching pointing with new TME
  - B7 Remove infill/door and reconstruct stonework TME

- B8 Remove infill and reconstruct opening in stonework to original detail
- B9 Remove doorway and reconstruct window to original detail
- B10 Repair all cast iron wall vents
- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
- B13 Repair render finishes
- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS**
- C1 Reconstruct original door and window joinery to original detail
  - C2 Repair damaged door and window joinery to original detail
  - C3 Make all windows and doors operable
  - C4 Prime and repaint all new and previously painted timber elements TME or original colour
  - C5 Replace damaged glazing and putty
  - C6 Repair and repaint cast iron window grilles
  - C7 Lock doors shut

**INTERNAL CONSERVATION WORKS LEGEND:**

- WALLS**
- D1 Repair plaster finish
  - D2 Apply new plaster finish TME
  - D3 Remove wall tiles and repair wall finish
  - D4 Remove plasterboard wall linings and associated fixings
- CEILINGS**
- E1 Repair ripple iron ceiling
  - E2 Repair timber boarded ceiling
  - E3 Install new ripple iron ceiling TME

- E4 Install new timber board ceiling TME
  - E5 Remove FC ceiling
  - E6 Remove PB ceiling
- FLOORS**
- F1 Repair timber flooring and floor structure
  - F2 Repair concrete floor
  - F3 Remove concrete topping from concrete slab and repair slab
  - F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
  - F5 New timber skirtings TME

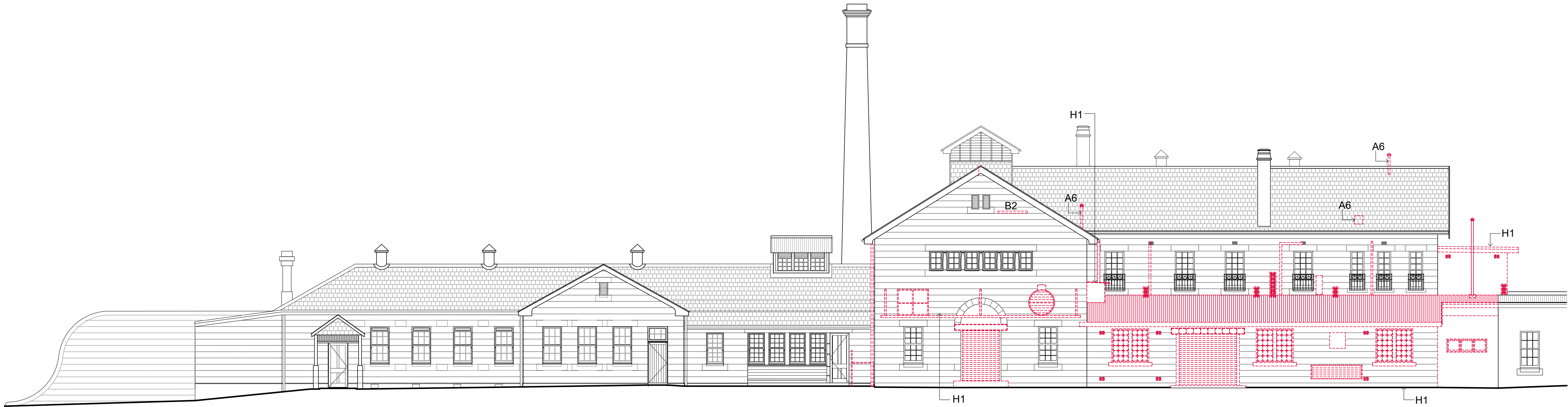
- F6 Remove carpet
  - F7 Repair flagstone floor
  - F8 Construct raised timber floor and ramps (1:25) above reinstated verandah floor
- DOORS**
- G1 Repair timber joinery door, frame and architraves
  - G2 New timber joinery door, frame and architraves TME

**ADAPTATION WORKS LEGEND:**

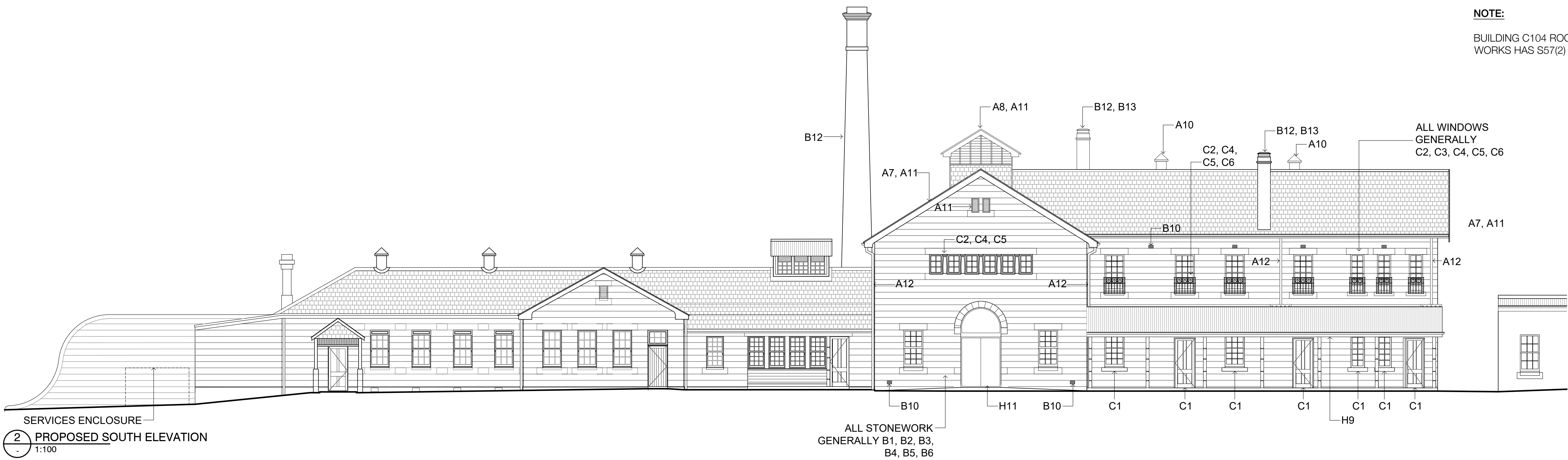
- ADAPTATION WORKS**
- H1 Demolish intrusive additions and repair original fabric
  - H2 Remove internal fit-out
  - H3 New steel-framed stair and mezzanine
  - H4 New lift for equitable access
  - H5 New workstations and loose furniture
  - H6 New electrical, communications, fire detection and mechanical services
  - H7 New sanitary facilities
  - H8 Create new opening in wall
  - H9 Reconstruct verandah to original detail

- H10 Reconstruct 1880s doorway and door
- H11 New glazed entry door with awning over
- H12 Remove block-out panel from window
- H13 New glazed door
- H14 New lightweight partition
- H15 New glazed partition
- H16 New doorway
- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair





1 DEMOLITION SOUTH ELEVATION  
1:100



2 PROPOSED SOUTH ELEVATION  
1:100

NOTE:

BUILDING C104 ROOF REPAIR WORKS HAS S57(2) APPROVAL

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- A9 Repair roof dormer - structure, cladding and windows
- A10 Repair galvanised steel vents
- A11 Prime and repaint all new and previously painted timber elements TME or original colour
- A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

- STONEMASONRY AND BRICKWORK
- B1 Repair cracked stonework to engineer's detail
- B2 Remove corroded embedments and redundant services and patch repair
- B3 Rub back areas of minor surface damage
- B4 Repair unsound stone with mortar patch
- B5 Replace damaged stone with stone indent
- B6 Replace missing, loose and non-matching pointing with new TME
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- B8 Remove infill and reconstruct opening in stonework to original detail
- B9 Remove doorway and reconstruct window to original detail
- B10 Repair all cast iron wall vents
- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
- B13 Repair render finishes
- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS
- C1 Reconstruct original door and window joinery to original detail
- C2 Repair damaged door and window joinery to original detail
- C3 Make all windows and doors operable
- C4 Prime and repaint all new and previously painted timber elements TME or original colour
- C5 Replace damaged glazing and putty
- C6 Repair and repaint cast iron window grilles
- C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- WALLS
- D1 Repair plaster finish
- D2 Apply new plaster finish TME
- D3 Remove wall tiles and repair wall finish
- D4 Remove plasterboard wall linings and associated fixings
- CEILINGS
- E1 Repair ripple iron ceiling
- E2 Repair timber boarded ceiling
- E3 Install new ripple iron ceiling TME
- FLOORS
- F1 Repair timber flooring and floor structure
- F2 Repair concrete floor
- F3 Remove concrete topping from concrete slab and repair slab
- F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
- F5 New timber skirtings TME
- E4 Install new timber board ceiling TME
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- E6 Remove PB ceiling

- F6 Remove carpet
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- DOORS
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- ADAPTATION WORKS
- H1 Demolish intrusive additions and repair original fabric
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- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

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Infrastructure NSW

PROJECT MANAGER  
Aver

Key

HERITAGE ACT 1977  
APPLICATION UNDER SECTION 60  
Application No: S60/2019/227

Approved by: the Heritage Council of NSW  
Delegated Authority

On: 04/05/2020

These plans should be read in conjunction with the decision notice

(for) Delegate  
Heritage Council

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Proj. Dir	Proj. Arch	Drawn
CMJ	SW	MDB,JF
Job No.	Sheet	Scale

160481 A1 1:100

NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2

Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C104 + C104a - PROPOSED/  
DEMOLITION SOUTH ELEVATIONS

Drawing No.

AR.S60.2007

Revision

A

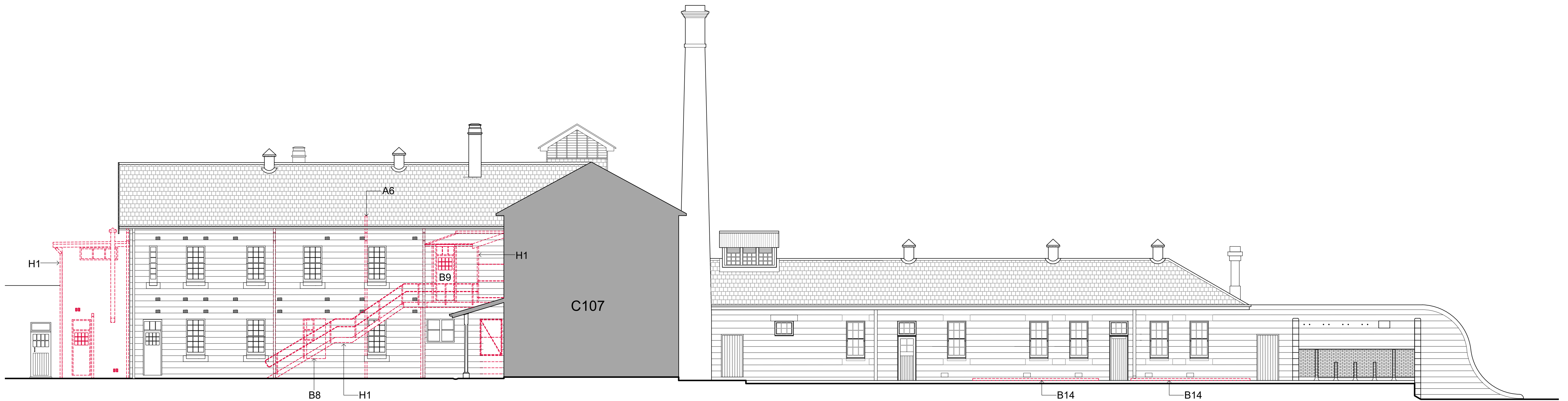
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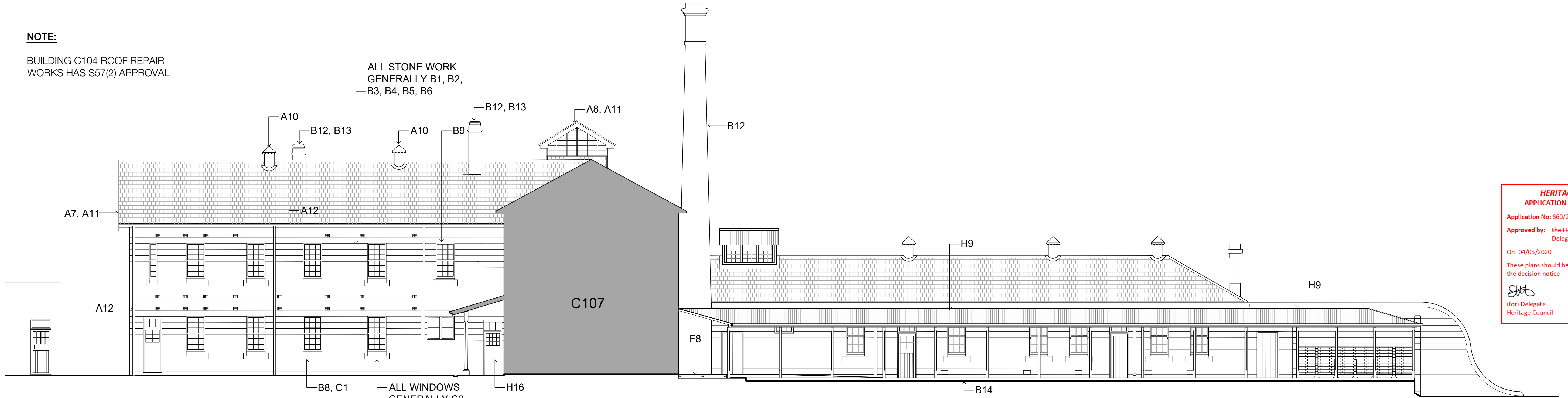




1 DEMOLITION NORTH ELEVATION  
1:100

NOTE:

BUILDING C104 ROOF REPAIR  
WORKS HAS S57(2) APPROVAL



2 PROPOSED NORTH ELEVATION  
1:100

EXTERNAL CONSERVATION WORKS LEGEND:

- ROOFWORK
- A1 Provide safe access for inspection of roof framing
- A2 Repair roof framing to engineer's details
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- A10 Repair galvanised steel vents
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- A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

- STONEWORK AND BRICKWORK
- B1 Repair cracked stonework to engineer's detail
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- B7 Remove infill/door and reconstruct stonework TME

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- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
- B13 Repair render finishes
- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS
- C1 Reconstruct original door and window joinery to original detail
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- C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- WALLS
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- F5 New timber skirtings TME

- DOORS
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- G2 New timber joinery door, frame and architraves TME

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- ADAPTATION WORKS
- H1 Demolish intrusive additions and repair original fabric
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- H5 New workstations and loose furniture
- H6 New electrical, communications, fire detection and mechanical services
- H7 New sanitary facilities
- H8 Create new opening in wall
- H9 Reconstruct verandah to original detail

- including new/repainted sandstone edging
- H10 Reconstruct 1880s doorway and door
- H11 New glazed entry door with awning over
- H12 Remove block-out panel from window
- H13 New glazed door
- H14 New lightweight partition
- H15 New glazed partition
- H16 New doorway
- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

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Infrastructure NSW

PROJECT MANAGER  
Aver

Key

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Proj. Dir	Proj. Arch	Drawn
CMJ	SW	MDB,JF
Job No.	Sheet	Scale
160481	A1	1:100

NSW Nominated Architects:  
Robert Denton Registration No. 5782  
Alex Kibble Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C104 + C104a - DEMOLITION/  
PROPOSED NORTH ELEVATIONS  
Drawing No.

AR.S60.2008

Revision

A

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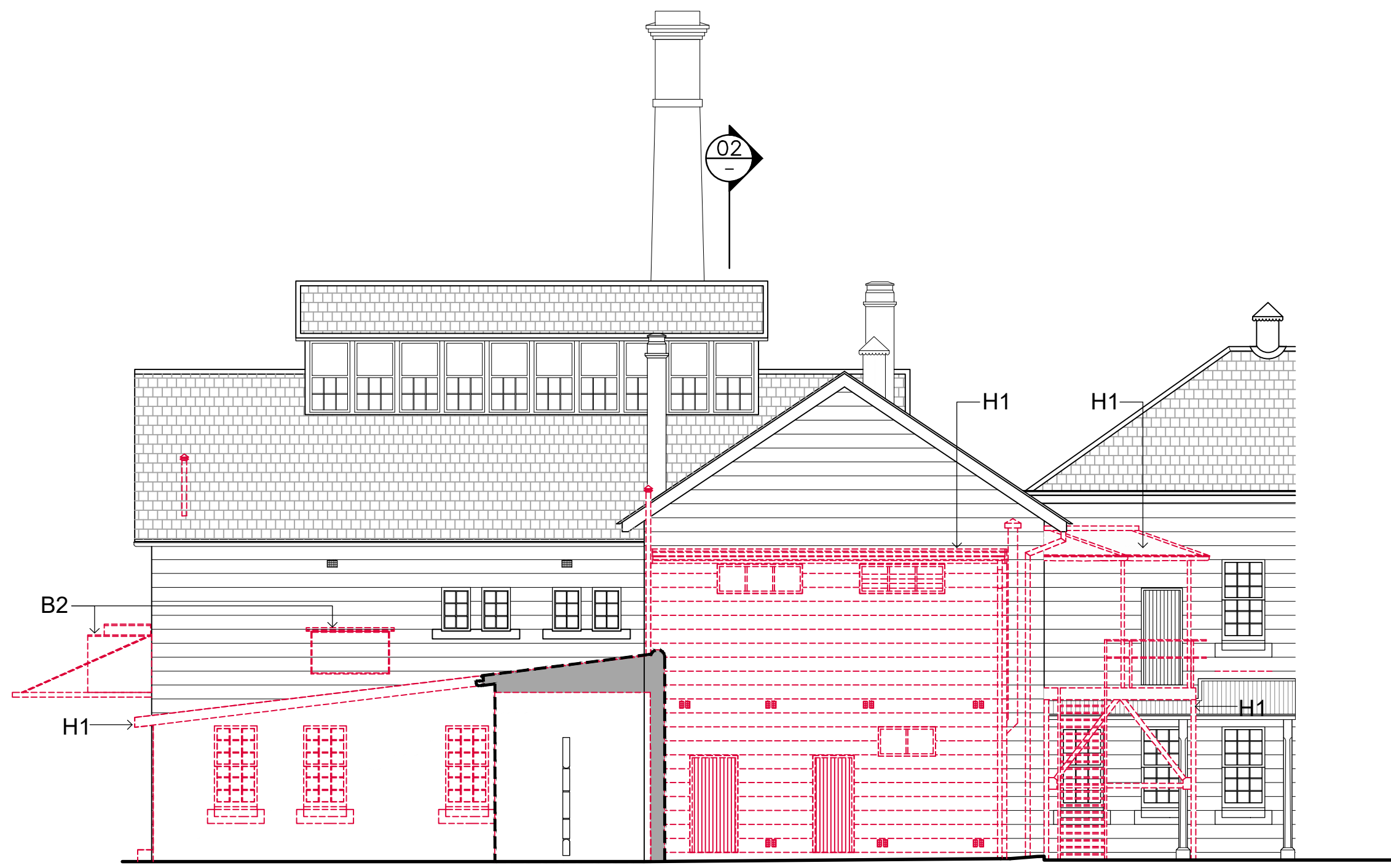
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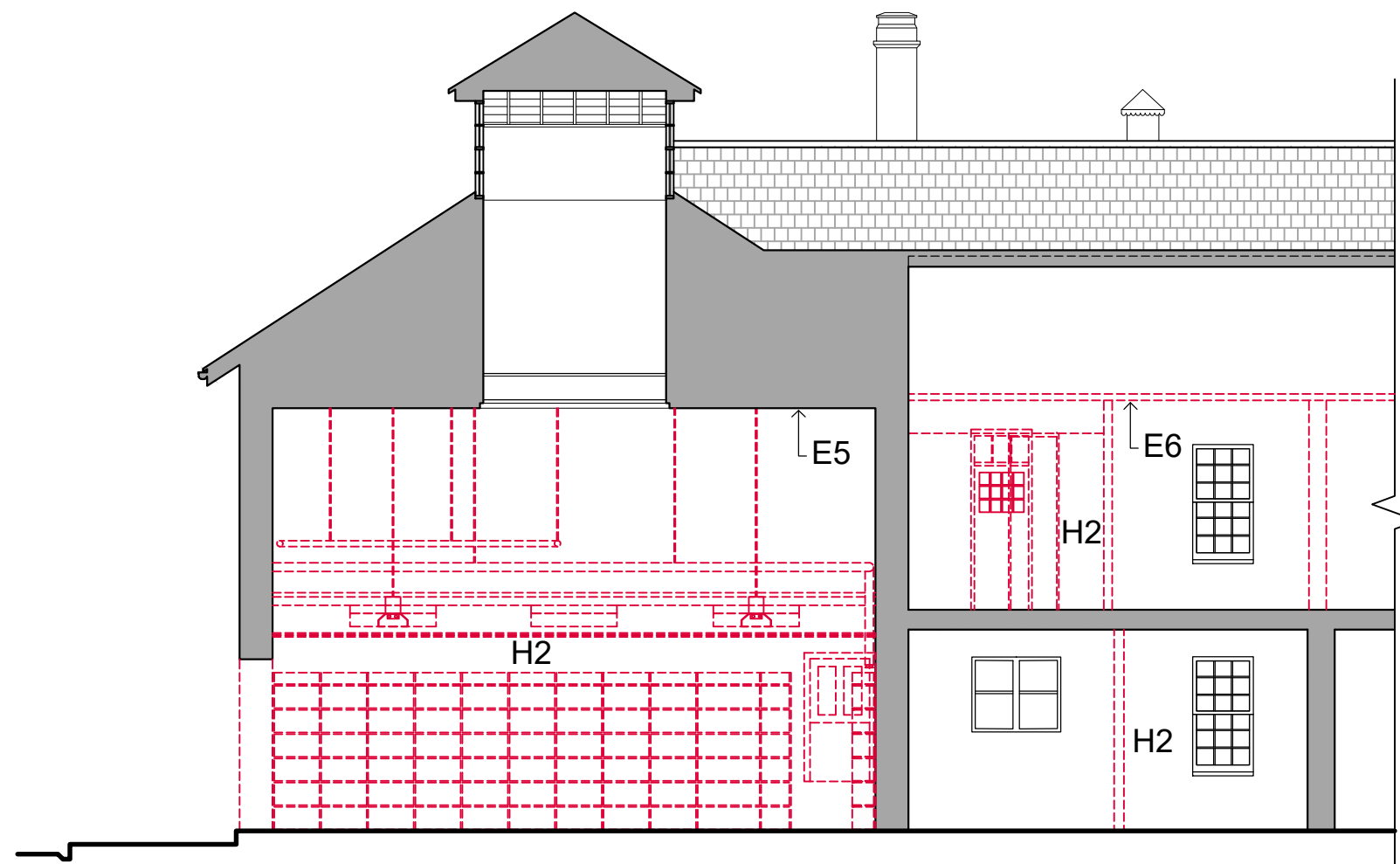
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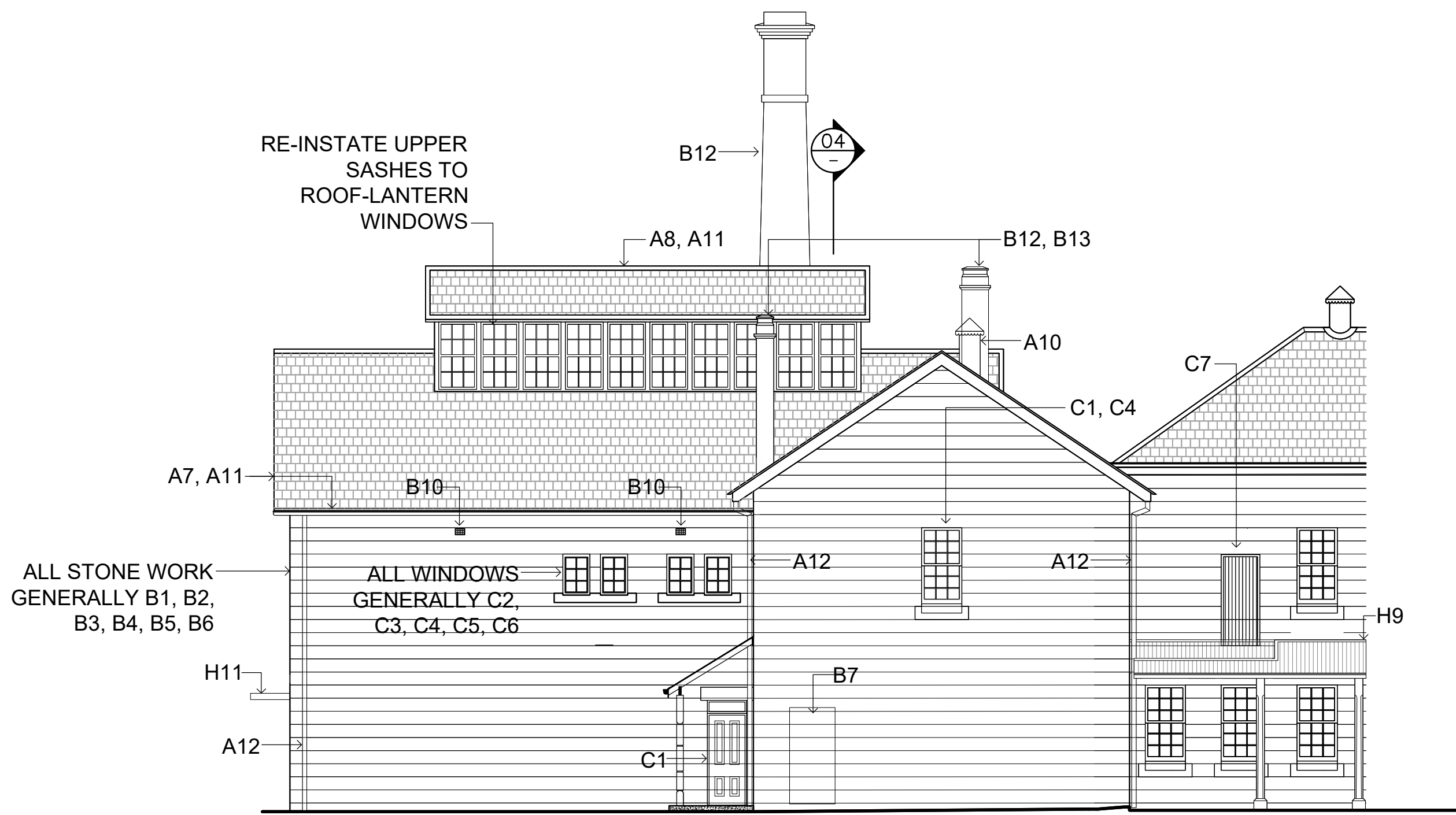




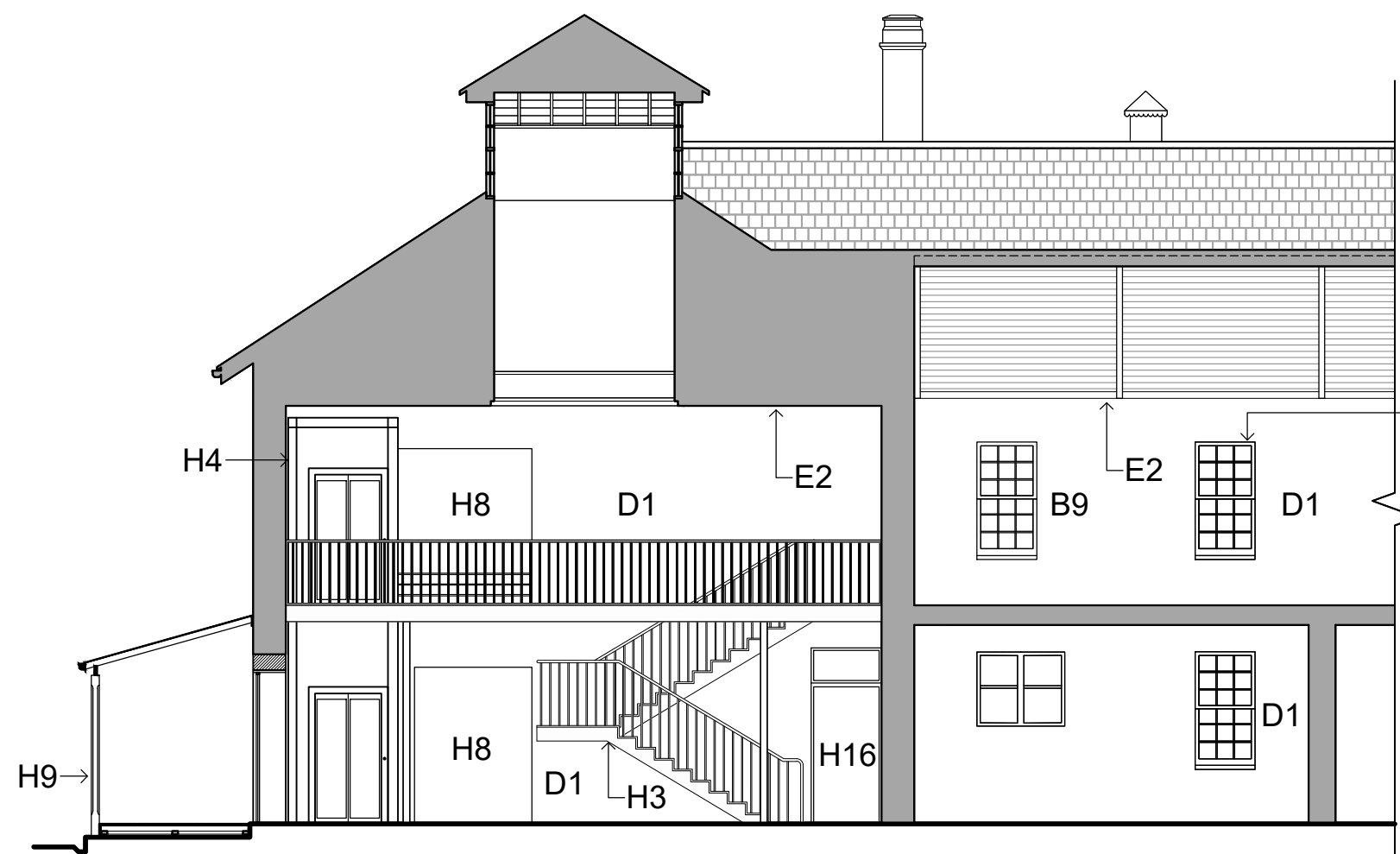
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1:100



2 DEMOLITION SECTION  
1:100



3 PROPOSED EAST ELEVATION  
1:100



4 PROPOSED SECTION  
1:100

ALL WINDOWS GENERALLY  
C2, C3, C4, C5

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
Application No: S60/2019/227  
Approved by: the Heritage Council of NSW  
Delegated Authority  
On: 04/05/2020  
These plans should be read in conjunction with  
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[Signature]  
(for) Delegate  
Heritage Council

**NOTE:**

BUILDING C104 ROOF REPAIR  
WORKS HAS S57(2) APPROVAL

**EXTERNAL CONSERVATION WORKS LEGEND:**

**ROOFWORK**  
A1 Provide safe access for inspection of roof framing  
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A6 Remove redundant and intrusive services penetrations

A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings  
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A9 Repair roof dormer - structure, cladding and windows  
A10 Repair galvanised steel vents  
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A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

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B1 Repair cracked stonework to engineer's detail  
B2 Remove corroded embedments and redundant services and patch repair  
B3 Rub back areas of minor surface damage  
B4 Repair unsound stone with mortar patch  
B5 Replace damaged stone with stone indent  
B6 Replace missing, loose and non-matching pointing with new TME  
B7 Remove infill/door and reconstruct stonework TME

B8 Remove infill and reconstruct opening in stonework to original detail  
B9 Remove doorway and reconstruct window to original detail  
B10 Repair all cast iron wall vents  
B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME  
B12 Check over all brickwork and repair as necessary  
B13 Repair render finishes  
B14 Demolish concrete floor slabs and re-instate verandah floor

**WINDOWS AND DOORS**  
C1 Reconstruct original door and window joinery to original detail  
C2 Repair damaged door and window joinery to original detail  
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**WALLS**  
D1 Repair plaster finish  
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G2 New timber joinery door, frame and architraves TME

**ADAPTATION WORKS LEGEND:**

**ADAPTATION WORKS**  
H1 Demolish intrusive additions and repair original fabric  
H2 Remove internal fit-out  
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H6 New electrical, communications, fire detection and mechanical services  
H7 New sanitary facilities  
H8 Create new opening in wall  
H9 Reconstruct verandah to original detail

including new/repared sandstone edging  
H10 Reconstruct 1880s doorway and door  
H11 New glazed entry door with awning over  
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CLIENT  
**Infrastructure NSW**

PROJECT MANAGER  
**Aver**

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NSW Nominated Architects:  
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Project  
**PARRAMATTA NORTH GROWTH CENTRE**  
**HERITAGE REPAIRS - TRANCHE 2**  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
**BUILDING C104 + C104a - DEMOLITION/  
PROPOSED EAST ELEVATION AND SECTION**  
Drawing No.

**AR.S60.2009**

Revision

**A**

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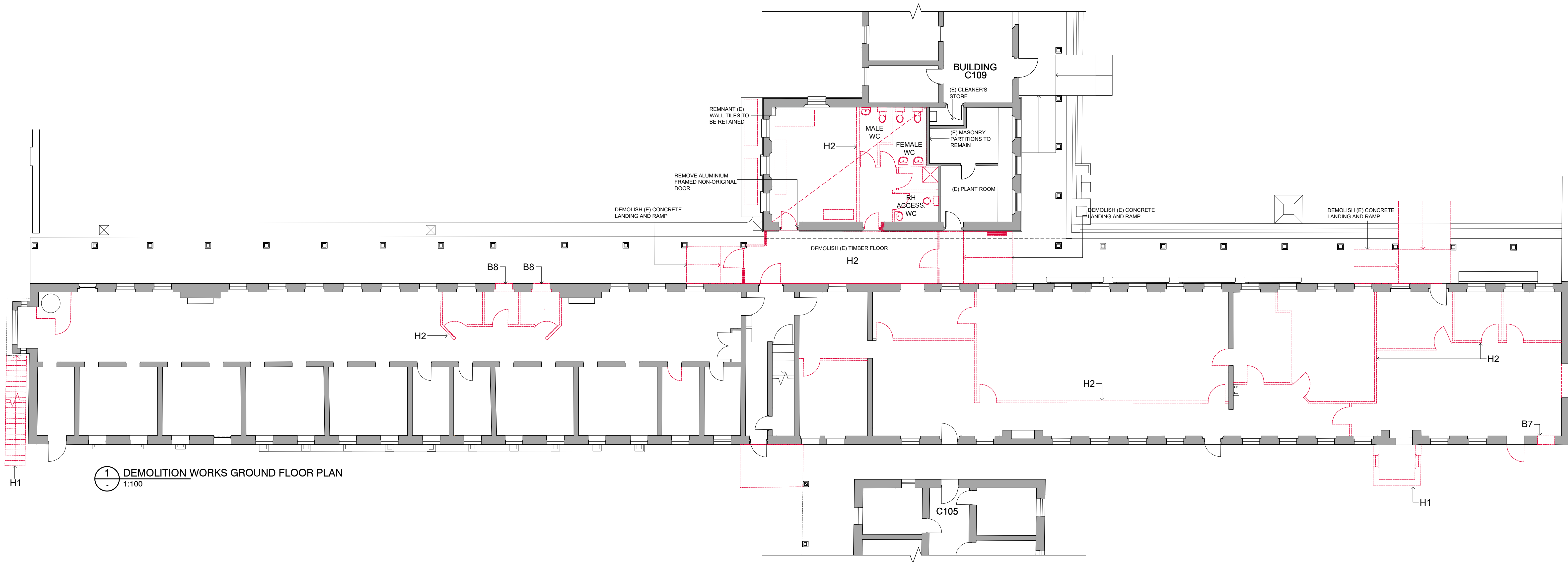
**TKDArchitects**  
Tanner Kibble Denton

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PO BOX R220  
Royal Exchange NSW 2010

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Level 1, 171 William St  
Darlinghurst, NSW, 2010







1 DEMOLITION WORKS GROUND FLOOR PLAN  
1:100

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No:** S60/2019/227  
**Approved by:** the Heritage Council of NSW  
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EXTERNAL CONSERVATION WORKS LEGEND:

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- B9** Remove doorway and reconstruct window to original detail
- B10** Repair all cast iron wall vents
- B11** Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12** Check over all brickwork and repair as necessary
- B13** Repair render finishes
- B14** Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS**
- C1 Reconstruct original door and window joinery to original detail
- C2 Repair damaged door and window joinery to original detail
- C3 Make all windows and doors operable
- C4 Prime and repaint all new and previously painted timber elements TME or original colour
- C5 Replace damaged glazing and putty
- C6 Repair and repaint cast iron window grilles
- C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- WALLS**
- D1 Repair plaster finish
- D2 Apply new plaster finish TME
- D3 Remove wall tiles and repair wall finish
- D3 Remove plasterboard wall linings and associated fixings
- CEILING**
- E1 Repair ripple iron ceiling
- E2 Repair timber boarded ceiling
- E3 Install new ripple iron ceiling TME

- FLOORS**
- F1 Repair timber flooring and floor structure
- F2 Repair concrete floor
- F3 Remove concrete topping from concrete slab and repair slab
- F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
- F5 New timber skirtings TME
- DOORS**
- G1 Repair timber joinery door, frame and architraves
- G2 New timber joinery door, frame and architraves TME

- ADAPTATION WORKS LEGEND:**
- ADAPTATION WORKS**
- H1 Demolish intrusive additions and repair original fabric
- H2 Remove internal fit-out
- H3 New steel-framed stair and mezzanine
- H4 New lift for equitable access
- H5 New workstations and loose furniture
- H6 New electrical, communications, fire detection and mechanical services
- H7 New sanitary facilities
- H8 Create new opening in wall
- H9 Reconstruct verandah to original detail

- including new/repainted sandstone edging
- H10 Reconstruct 1890s doorway and door
- H11 New glazed entry door with awning over
- H12 Remove block-out panel from window
- H13 New glazed door
- H14 New lightweight partition
- H15 New glazed partition
- H16 New doorway
- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

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General Notes

Abbreviations  
(E) EXISTING  
(N) PROPOSED

Rev Date Description Checked Auth  
A 17.02.20 S60 Revision SW CMJ

Proj. Dir Proj. Arch Drawn  
CMJ SW MDB,JF,FF  
Job No. Sheet Scale

**160481 A1 1:100**

NSW Nominated Architects:  
Robert Denton Registration No. 5782  
Alex Kibble Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
**PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2**  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
**BUILDING C107 + C109 - DEMOLITION GROUND  
FLOOR PLAN**

Drawing No. Revision

**AR.S60.4000**

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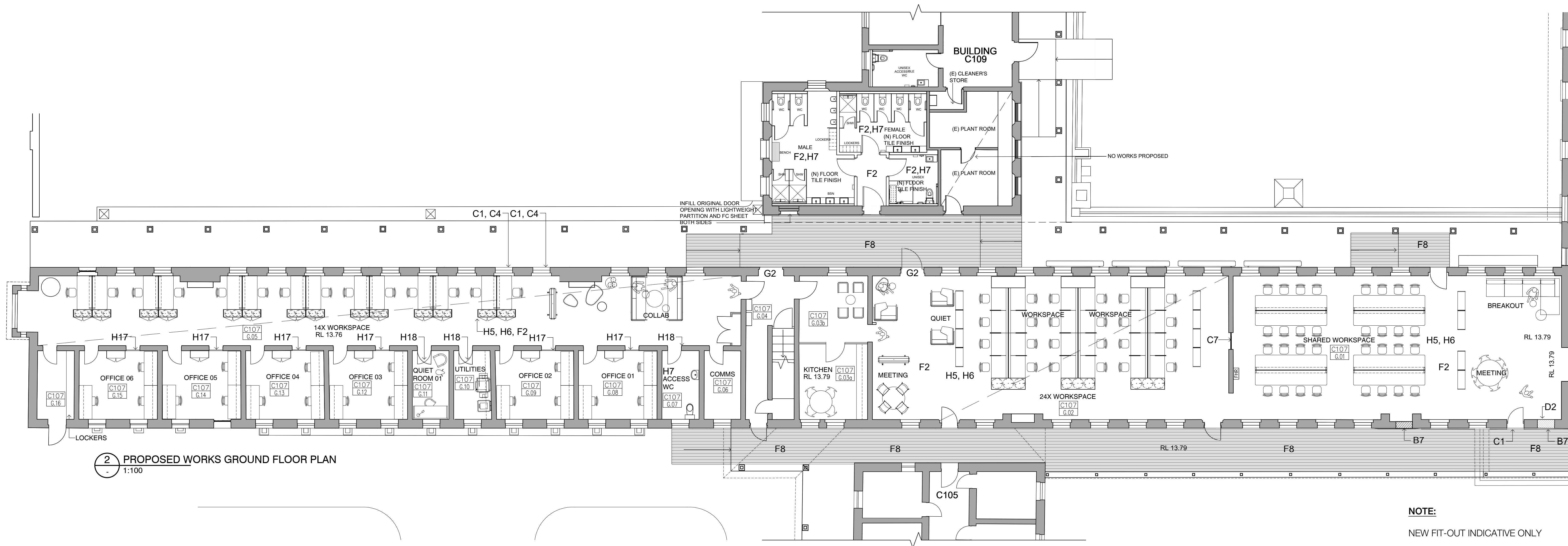
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NOTE:  
NEW FIT-OUT INDICATIVE ONLY

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No:** S60/2019/227  
**Approved by:** the Heritage Council of NSW  
Delegated Authority  
**On:** 04/05/2020  
These plans should be read in conjunction with  
the decision notice  
  
(for) Delegate  
Heritage Council

EXTERNAL CONSERVATION WORKS LEGEND:

- ROOFWORK
- A1 Provide safe access for inspection of roof framing
- A2 Repair roof framing to engineer's details
- A3 Replace deteriorated Welsh roof slates with new TME
- A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME
- A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME
- A6 Remove redundant and intrusive services penetrations

- A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings
- A8 Repair roof lantern - structure, louvres, cladding and windows
- A9 Repair roof dormer - structure, cladding and windows
- A10 Repair galvanised steel vents
- A11 Prime and repaint all new and previously painted timber elements TME or original colour
- A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

- STONEMASONRY AND BRICKWORK
- B1 Repair cracked stonework to engineer's detail
- B2 Remove corroded embedments and redundant services and patch repair
- B3 Rub back areas of minor surface damage
- B4 Repair unsound stone with mortar patch
- B5 Replace damaged stone with stone indent
- B6 Replace missing, loose and non-matching pointing with new TME
- B7 Remove infill/door and reconstruct stonework TME

- B8 Remove infill and reconstruct opening in stonework to original detail
- B9 Remove doorway and reconstruct window to original detail
- B10 Repair all cast iron wall vents
- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
- B13 Repair render finishes
- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS
- C1 Reconstruct original door and window joinery to original detail
- C2 Repair damaged door and window joinery to original detail
- C3 Make all windows and doors operable
- C4 Prime and repaint all new and previously painted timber elements TME or original colour
- C5 Replace damaged glazing and putty
- C6 Repair and repaint cast iron window grilles
- C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- WALLS
- D1 Repair plaster finish
- D2 Apply new plaster finish TME
- D3 Remove wall tiles and repair wall finish
- D4 Remove plasterboard wall linings and associated fixings
- CEILING
- E1 Repair ripple iron ceiling
- E2 Repair timber boarded ceiling
- E3 Install new ripple iron ceiling TME

- FLOORS
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- F2 Repair concrete floor
- F3 Remove concrete topping from concrete slab and repair slab
- F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
- F5 New timber skirtings TME

- F6 Remove carpet
- F7 Repair flagstone floor
- F8 Construct raised timber floor and ramps (1.25) above reinstated verandah floor
- DOORS
- G1 Repair timber joinery door, frame and architraves
- G2 New timber joinery door, frame and architraves TME

ADAPTATION WORKS LEGEND:

- ADAPTATION WORKS
- H1 Demolish intrusive additions and repair original fabric
- H2 Remove internal fit-out
- H3 New steel-framed stair and mezzanine
- H4 New lift for equitable access
- H5 New workstations and loose furniture
- H6 New electrical, communications, fire detection and mechanical services
- H7 New sanitary facilities
- H8 Create new opening in wall
- H9 Reconstruct verandah to original detail

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- H10 Reconstruct 1890s doorway and door
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- H13 New glazed door
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- H16 New doorway
- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

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General Notes

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Proj. Dir	Proj. Arch	Drawn
CMJ	SW	MDB,JF,FF
Job No.	Sheet	Scale
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NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

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10 20 30 40 50

Project  
**PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2**  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
**BUILDING C107 + C109 - PROPOSED GROUND  
FLOOR PLAN**

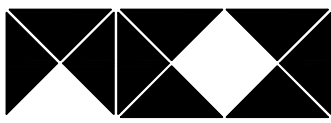
Drawing No.

Revision

AR.S60.4001

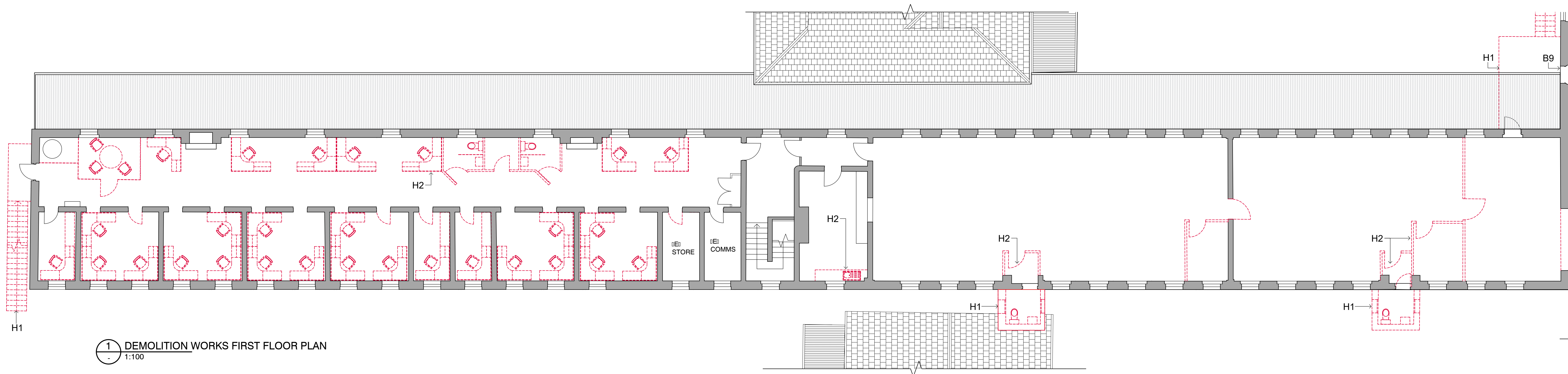
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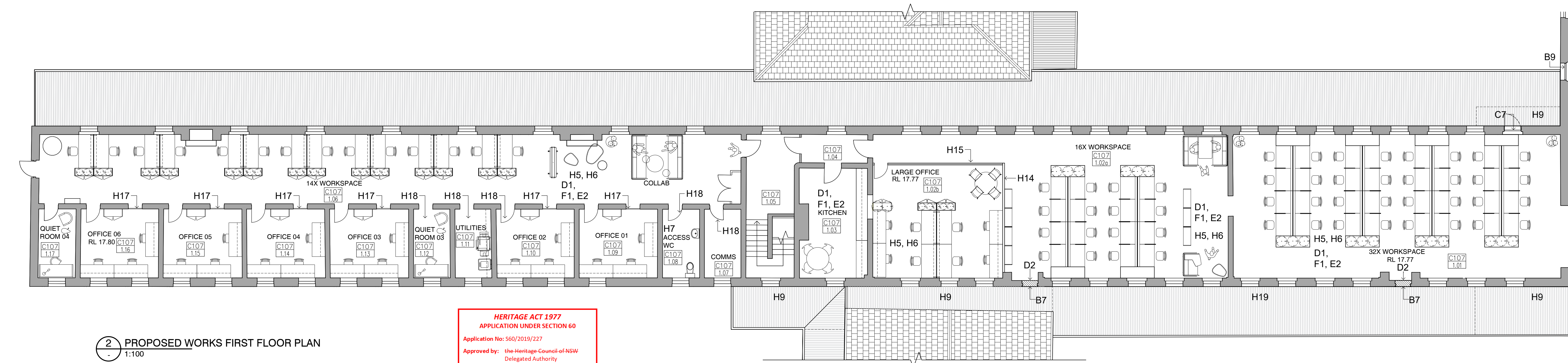


**TKD Architects**  
Tanner Kibble Denton





1 DEMOLITION WORKS FIRST FLOOR PLAN  
1:100



2 PROPOSED WORKS FIRST FLOOR PLAN  
1:100

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No: S60/2019/227**  
**Approved by: the Heritage Council of NSW**  
**Delegated Authority**  
**On: 04/05/2020**  
**These plans should be read in conjunction with the decision notice**  
**[Signature]**  
**(for) Delegate**  
**Heritage Council**

**NOTE:**  
NEW FIT-OUT INDICATIVE ONLY

**EXTERNAL CONSERVATION WORKS LEGEND:**

- |          |   |  |   |
|----------|---|--|---|
| ROOFWORK | A7  | Repair timber fascias, barge boards, eaves linings, fretwork and mouldings |   |
| A1       | Provide safe access for inspection of roof framing                            | A8   | Repair roof lantern - structure, louvres, cladding and windows  |
| A2       | Repair roof framing to engineer's details                                     | A9   | Repair roof dormer - structure, cladding and windows  |
| A3       | Replace deteriorated Welsh roof slates with new TME                           | A10  | Repair galvanised steel vents   |
| A4       | Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME | A11  | Prime and repaint all new and previously painted timber elements TME or original colour                                     |
| A5       | Replace deteriorated lead flashings, ridge and hip cappings with new TME      | A12  | Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains |
| A6       | Remove redundant and intrusive services penetrations                          |  |   |

- |                            |  |   |  |
|----------------------------|--|---|--|
| STONEMASONRY AND BRICKWORK | B1   | Repair cracked stonework to engineer's detail |  |
| B2                         | Remove corroded embedments and redundant services and patch repair | B3  | Rub back areas of minor surface damage           |
| B4                         | Repair unsound stone with mortar patch                             | B5  | Replace damaged stone with stone indent          |
| B6                         | Replace missing, loose and non-matching pointing with new TME      | B7  | Remove infill/door and reconstruct stonework TME |

- |     |   |     |  |
|-----|---|-----|--|
| B8  | Remove infill and reconstruct opening in stonework to original detail | B9  | Remove doorway and reconstruct window to original detail                         |
| B10 | Repair all cast iron wall vents                                       | B11 | Repair sandstone flagging to verandah replacing deteriorated stones with new TME |
| B12 | Check over all brickwork and repair as necessary                      | B13 | Repair render finishes   |
| B14 | Demolish concrete floor slabs and re-instate verandah floor           |     |  |

- |                   |   |   |                                     |
|-------------------|---|---|-------------------------------------|
| WINDOWS AND DOORS | C1  | Reconstruct original door and window joinery to original detail |                                     |
| C2                | Repair damaged door and window joinery to original detail                               | C3  | Make all windows and doors operable |
| C4                | Prime and repaint all new and previously painted timber elements TME or original colour | C5  | Replace damaged glazing and putty   |
| C6                | Repair and repaint cast iron window grilles   | C7  | Lock doors shut                     |

**INTERNAL CONSERVATION WORKS LEGEND:**

- |         |   |                            |  |
|---------|---|----------------------------|--|
| WALLS   | D1  | Repair plaster finish      |  |
| D2      | Apply new plaster finish TME                            | D3                         | Remove wall tiles and repair wall finish |
| D4      | Remove plasterboard wall linings and associated fixings |                            |  |
| CEILING | E1  | Repair ripple iron ceiling |  |
| E2      | Repair timber boarded ceiling                           | E3                         | Install new ripple iron ceiling TME      |

- |        |  |  |  |
|--------|--|--|--|
| FLOORS | F1   | Repair timber flooring and floor structure |  |
| F2     | Repair concrete floor  | F3   | Remove concrete topping from concrete slab and repair slab |
| F4     | Repair timber skirtings and replace deteriorated timber skirtings with new TME | F5   | New timber skirtings TME                                   |

- |       |  |   |  |
|-------|--|---|--|
| DOORS | G1   | Repair timber joinery door, frame and architraves |  |
| G2    | New timber joinery door, frame and architraves TME |   |  |

**ADAPTATION WORKS LEGEND:**

- |                  |  |   |   |
|------------------|--|---|---|
| ADAPTATION WORKS | H1   | Demolish intrusive additions and repair original fabric |   |
| H2               | Remove internal fit-out  | H3  | New steel-framed stair and mezzanine    |
| H4               | New lift for equitable access  | H5  | New workstations and loose furniture    |
| H6               | New electrical, communications, fire detection and mechanical services | H7  | New sanitary facilities                 |
| H8               | Create new opening in wall   | H9  | Reconstruct verandah to original detail |

- |     |                                    |     |  |
|-----|------------------------------------|-----|--|
| H10 | Reconstruct 1880s doorway and door | H11 | New glazed entry door with awning over |
| H12 | Remove block-out panel from window | H13 | New glazed door                        |
| H14 | New lightweight partition          | H15 | New glazed partition                   |
| H16 | New doorway                        | H17 | Lock doors shut                        |
| H18 | Re-swing door                      | H19 | Construct new verandah extension       |
| H20 | Install new timber stair           |     |  |

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Key

Abbreviations  
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Rev	Date	Description	Checked	Auth.
P1	18.11.19	Preliminary Draft	SW	CMJ
P2	25.11.19	Final Draft	SW	CMJ
A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
CMJ	SW	MDB,JF
Job No.	Sheet	Scale
160481	A1	1:100

NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
**PARRAMATTA NORTH GROWTH CENTRE**  
**HERITAGE REPAIRS - TRANCHE 2**

Drawing Title  
**HISTORIC CORE NORTH - FEMALE FACTORY/**  
**ASYLUM PRECINCT**  
**BUILDING C107 - DEMOLITION/PROPOSED FIRST**  
**FLOOR PLAN**

Drawing No.

**AR.S60.4002**

Revision

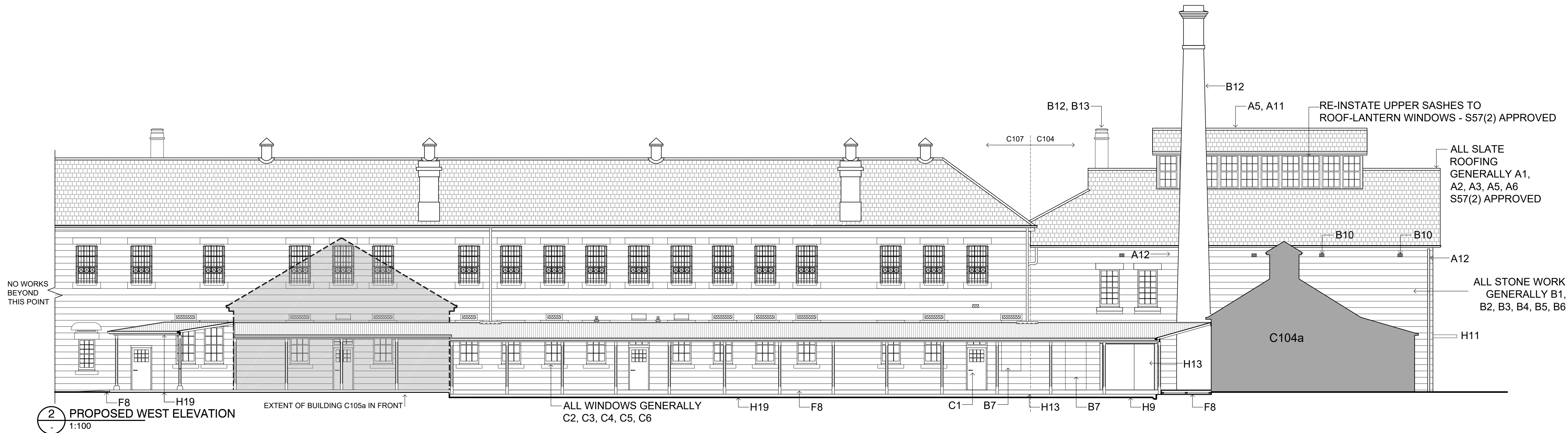
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#### EXTERNAL CONSERVATION WORKS LEGEND:

- ROOFWORK**
- A1 Provide safe access for inspection of roof framing
- A2 Repair roof framing to engineer's details
- A3 Replace deteriorated Welsh roof slates with new TME
- A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME
- A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME
- A6 Remove redundant and intrusive services penetrations
- A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings
- A8 Repair roof lantern - structure, louvres, cladding and windows
- A9 Repair roof dormer - structure, cladding and windows
- A10 Repair galvanised steel vents
- A11 Prime and repaint all new and previously painted timber elements TME or original colour
- A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

- STONEWORK AND BRICKWORK**
- B1 Repair cracked stonework to engineer's detail
- B2 Remove corroded embedments and redundant services and patch repair
- B3 Rub back areas of minor surface damage
- B4 Repair unsound stone with mortar patch
- B5 Replace damaged stone with stone indent
- B6 Replace missing, loose and non-matching pointing with new TME
- B7 Remove infill/door and reconstruct stonework TME

- B8 Remove infill and reconstruct opening in stonework to original detail
- B9 Remove doorway and reconstruct window to original detail
- B10 Repair all cast iron wall vents
- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
- B13 Repair render finishes
- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS**
- C1 Reconstruct original door and window joinery to original detail
- C2 Repair damaged door and window joinery to original detail
- C3 Make all windows and doors operable
- C4 Prime and repaint all new and previously painted timber elements TME or original colour
- C5 Replace damaged glazing and putty
- C6 Repair and repaint cast iron window grilles
- C7 Lock doors shut

#### INTERNAL CONSERVATION WORKS LEGEND:

- WALLS**
- D1 Repair plaster finish
- D2 Apply new plaster finish TME
- D3 Remove wall tiles and repair wall finish
- D4 Remove plasterboard wall linings and associated fixings
- CEILINGS**
- E1 Repair ripple iron ceiling
- E2 Repair timber boarded ceiling
- E3 Install new ripple iron ceiling TME

- FLOORS**
- F1 Repair timber flooring and floor structure
- F2 Repair concrete floor
- F3 Remove concrete topping from concrete slab and repair slab
- F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
- F5 New timber skirtings TME
- DOORS**
- G1 Repair timber joinery door, frame and architraves
- G2 New timber joinery door, frame and architraves TME

- F6 Remove carpet
- F7 Repair flagstone floor
- F8 Construct raised timber floor and ramps (1.25) above reinstated verandah floor

#### ADAPTATION WORKS LEGEND:

- ADAPTATION WORKS**
- H1 Demolish intrusive additions and repair original fabric
- H2 Remove internal fit-out
- H3 New steel-framed stair and mezzanine
- H4 New lift for equitable access
- H5 New workstations and loose furniture
- H6 New electrical, communications, fire detection and mechanical services
- H7 New sanitary facilities
- H8 Create new opening in wall
- H9 Reconstruct verandah to original detail
- H10 Reconstruct 1880s doorway and door
- H11 New glazed entry door with awning over
- H12 Remove block-out panel from window
- H13 New glazed door
- H14 New lightweight partition
- H15 New glazed partition
- H16 New doorway
- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

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Key

**HERITAGE ACT 1977**  
**APPLICATION UNDER SECTION 60**  
**Application No: S60/2019/227**  
**Approved by: the Heritage Council of NSW**  
**Delegated Authority**  
**On: 04/05/2020**  
**These plans should be read in conjunction with the decision notice**  
**(for) Delegate**  
**Heritage Council**

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NSW Nominated Architects:  
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Project  
**PARRAMATTA NORTH GROWTH CENTRE**  
**HERITAGE REPAIRS - TRANCHE 2**  
Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
**BUILDING C107 + C104 PROPOSED/ DEMOLITION**  
**WEST ELEVATIONS**  
Drawing No.  
**AR.S60.4003**

Revision  
**A**

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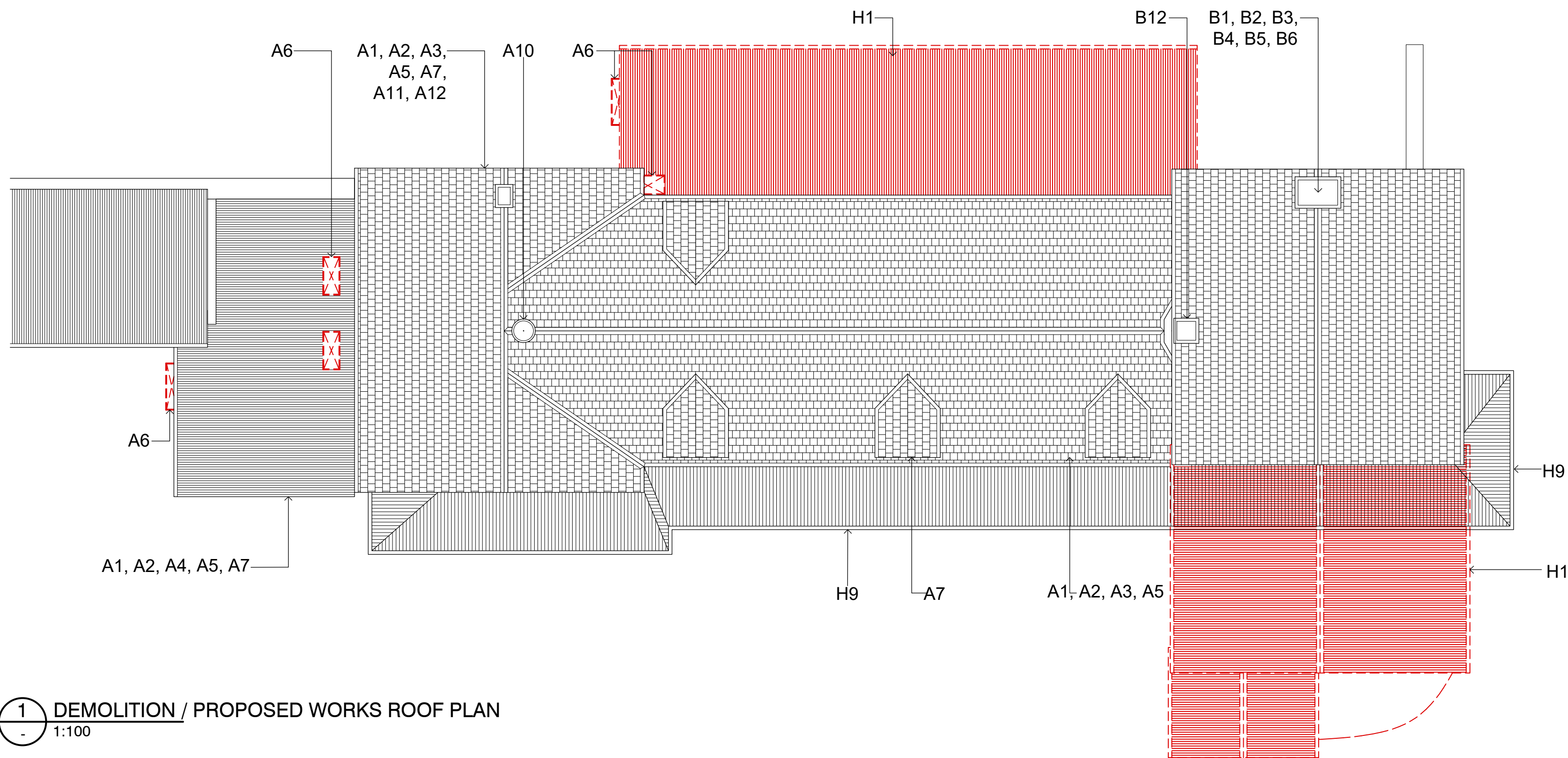
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1 DEMOLITION / PROPOSED WORKS ROOF PLAN  
1:100

EXTERNAL CONSERVATION WORKS LEGEND:

ROOFWORK		A7	Repair timber fascias, barge boards, eaves linings, fretwork and mouldings
A1	Provide safe access for inspection of roof framing	A8	Repair roof lantern - structure, louvres, cladding and windows
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STONEMASONRY AND BRICKWORK

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WINDOWS AND DOORS

B8	Remove infill and reconstruct opening in stonework to original detail
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C5	Replace damaged glazing and putty
C6	Repair and repaint cast iron window grilles
C7	Lock doors shut

ADAPTATION WORKS LEGEND:

D1	Repair plaster finish
D2	Apply new plaster finish TME
D3	Remove wall tiles and repair wall finish
D4	Remove plasterboard wall linings and associated fixings
D5	Install new timber board ceiling TME
D6	Remove FC ceiling
D7	Remove PB ceiling

FLOORS

F1	Repair timber flooring and floor structure
F2	Repair concrete floor
F3	Remove concrete topping from concrete slab and repair slab
F4	Repair timber skirtings and replace deteriorated timber skirtings with new TME
F5	New timber skirtings TME

DOORS

G1	Repair timber joinery door, frame and architraves
G2	New timber joinery door, frame and architraves TME

ADAPTATION WORKS

H1	Demolish intrusive additions and repair original fabric
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H7	New sanitary facilities
H8	Create new opening in wall
H9	Reconstruct verandah to original detail

including new/repainted sandstone edging

H10	Reconstruct 1880s doorway and door
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H13	New glazed door
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H15	New glazed partition
H16	New doorway
H17	Lock doors shut
H18	Re-swing door
H19	Construct new verandah extension
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Infrastructure NSW

PROJECT MANAGER  
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P1	22.10.19	Preliminary Draft	SW	CMJ
P2	25.11.19	Final Draft	SW	CMJ
A	29.11.19	S60 Application	SW	CMJ

Proj. Dir	Proj. Arch	Drawn
CMJ	SW	MDB, JF
Job No.	Sheet	Scale
160481	A1	1:100

NSW Nominated Architects:  
Robert Denton  
Alex Kibble  
Registration No. 5782  
Registration No. 6015

Do not scale drawings. Verify all dimensions on site. Notify architect of all discrepancies

Project  
PARRAMATTA NORTH GROWTH CENTRE  
HERITAGE REPAIRS - TRANCHE 2

Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C111 - EXISTING/PROPOSED ROOF  
PLAN

Drawing No.  
AR.S60.6002

Revision  
A

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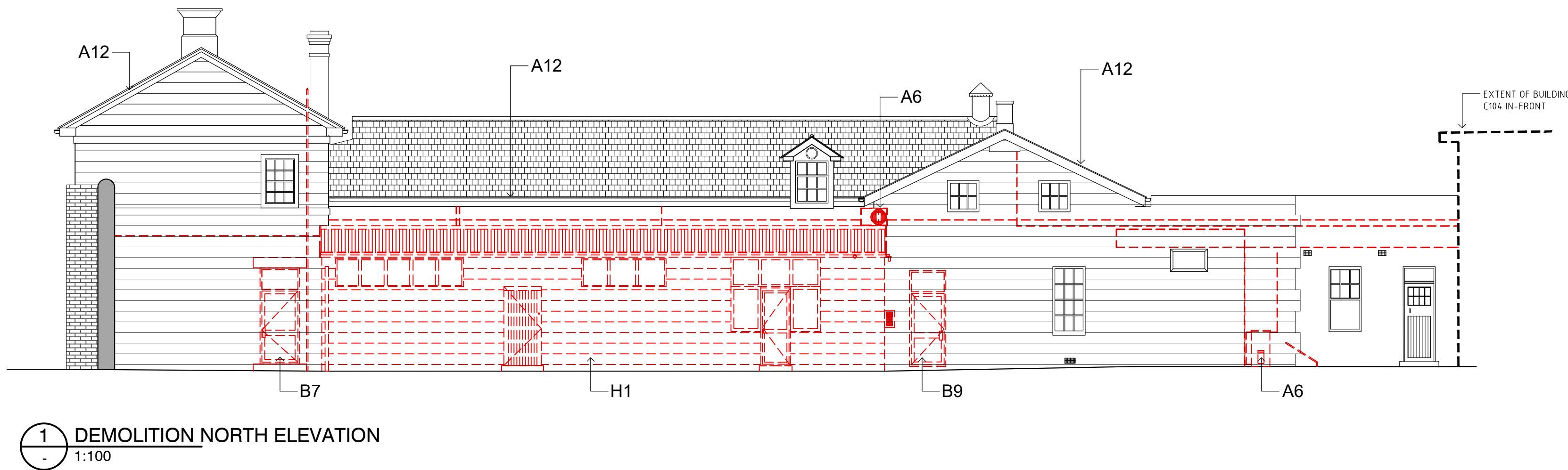
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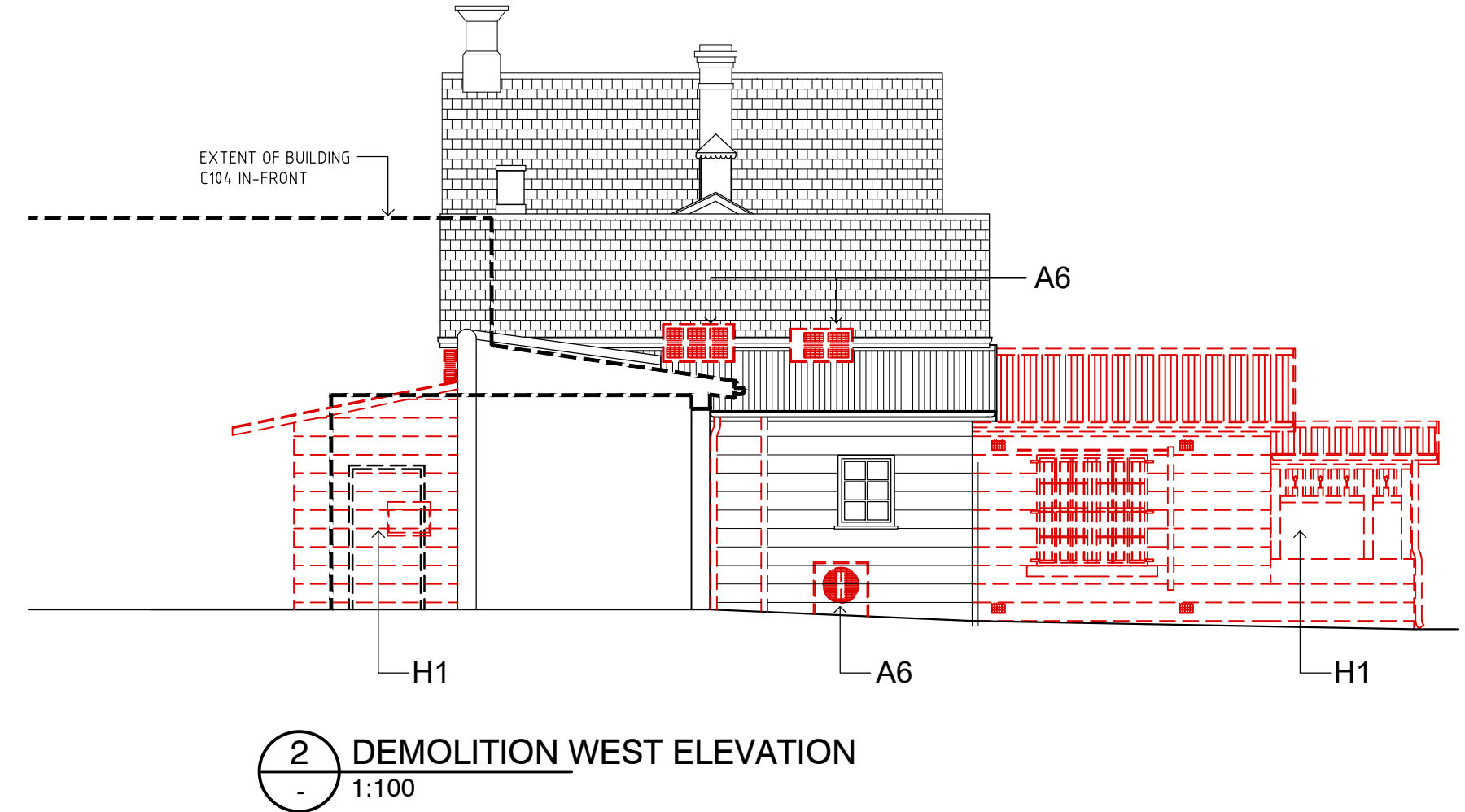
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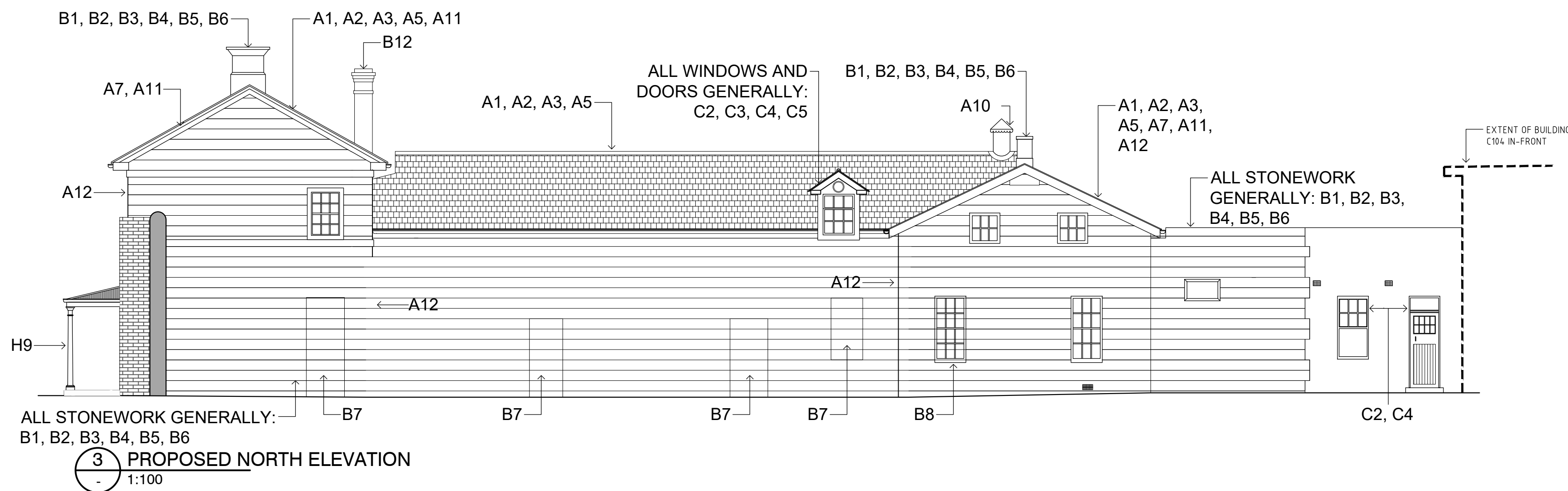




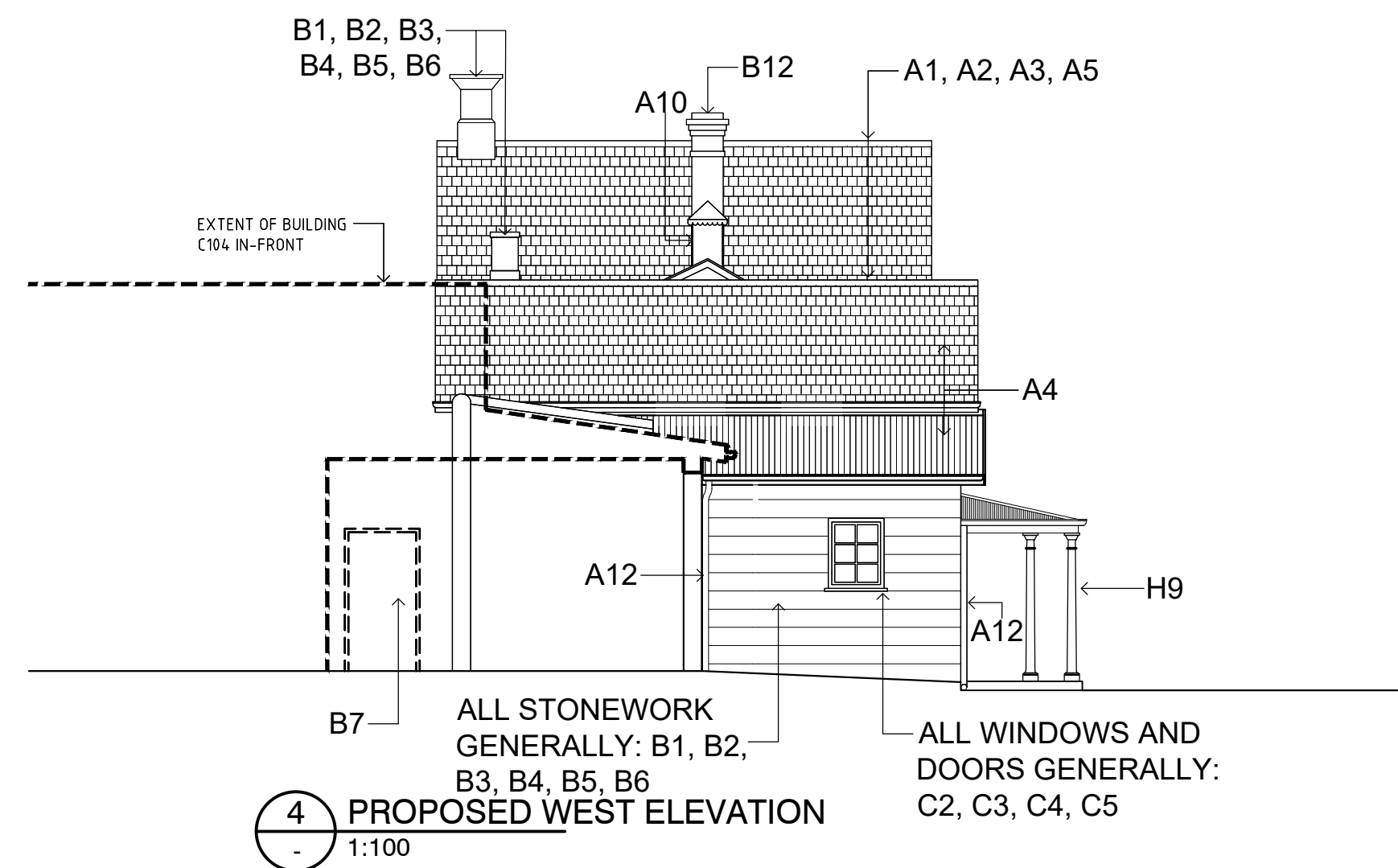
1 DEMOLITION NORTH ELEVATION  
1:100



2 DEMOLITION WEST ELEVATION  
1:100



3 PROPOSED NORTH ELEVATION  
1:100



4 PROPOSED WEST ELEVATION  
1:100

EXTERNAL CONSERVATION WORKS LEGEND:

- ROOFWORK
- A1 Provide safe access for inspection of roof framing
- A2 Repair roof framing to engineer's details
- A3 Replace deteriorated Welsh roof slates with new TME
- A4 Replace deteriorated steel roof sheeting, ridge and hip cappings with new TME
- A5 Replace deteriorated lead flashings, ridge and hip cappings with new TME
- A6 Remove redundant and intrusive services penetrations
- A7 Repair timber fascias, barge boards, eaves linings, fretwork and mouldings
- A8 Repair roof lantern - structure, louvres, cladding and windows
- A9 Repair roof dormer - structure, cladding and windows
- A10 Repair galvanised steel vents
- A11 Prime and repaint all new and previously painted timber elements TME or original colour
- A12 Replace deteriorated rainwater goods with new TME - gutters, rainwater heads and downpipes and connect to stormwater drains

- STONEWORK AND BRICKWORK
- B1 Repair cracked stonework to engineer's detail
- B2 Remove corroded embedments and redundant services and patch repair
- B3 Rub back areas of minor surface damage
- B4 Repair unsound stone with mortar patch
- B5 Replace damaged stone with stone indent
- B6 Replace missing, loose and non-matching pointing with new TME
- B7 Remove infill/door and reconstruct stonework TME

- B8 Remove infill and reconstruct opening in stonework to original detail
- B9 Remove doorway and reconstruct window to original detail
- B10 Repair all cast iron wall vents
- B11 Repair sandstone flagging to verandah replacing deteriorated stones with new TME
- B12 Check over all brickwork and repair as necessary
- B13 Repair render finishes
- B14 Demolish concrete floor slabs and re-instate verandah floor

- WINDOWS AND DOORS
- C1 Reconstruct original door and window joinery to original detail
- C2 Repair damaged door and window joinery to original detail
- C3 Make all windows and doors operable
- C4 Prime and repaint all new and previously painted timber elements TME or original colour
- C5 Replace damaged glazing and putty
- C6 Repair and repaint cast iron window grilles
- C7 Lock doors shut

INTERNAL CONSERVATION WORKS LEGEND:

- WALLS
- D1 Repair plaster finish
- D2 Apply new plaster finish TME
- D3 Remove wall tiles and repair wall finish
- D4 Remove plasterboard wall linings and associated fixings
- CEILINGS
- E1 Repair ripple iron ceiling
- E2 Repair timber boarded ceiling
- E3 Install new ripple iron ceiling TME

- FLOORS
- F1 Repair timber flooring and floor structure
- F2 Repair concrete floor
- F3 Remove concrete topping from concrete slab and repair slab
- F4 Repair timber skirtings and replace deteriorated timber skirtings with new TME
- F5 New timber skirtings TME

- DOORS
- G1 Repair timber joinery door, frame and architraves
- G2 New timber joinery door, frame and architraves TME

ADAPTATION WORKS LEGEND:

- ADAPTATION WORKS
- H1 Demolish intrusive additions and repair original fabric
- H2 Remove internal fit-out
- H3 New steel-framed stair and mezzanine
- H4 New lift for equitable access
- H5 New workstations and loose furniture
- H6 New electrical, communications, fire detection and mechanical services
- H7 New sanitary facilities
- H8 Create new opening in wall
- H9 Reconstruct verandah to original detail

- including new/repared sandstone edging
- H10 Reconstruct 1880s doorway and door
- H11 New glazed entry door with awning over
- H12 Remove block-out panel from window
- H13 New glazed door
- H14 New lightweight partition
- H15 New glazed partition
- H16 New doorway
- H17 Lock doors shut
- H18 Re-swing door
- H19 Construct new verandah extension
- H20 Install new timber stair

CLIENT  
Infrastructure NSW

PROJECT MANAGER  
Aver

Key

Abbreviations  
(E) EXISTING  
(N) PROPOSED

Rev	Date	Description	Checked	Auth.
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HERITAGE REPAIRS - TRANCHE 2

Drawing Title  
HISTORIC CORE NORTH - FEMALE FACTORY/  
ASYLUM PRECINCT  
BUILDING C111 - DEMOLITION NORTH & WEST  
ELEVATIONS

Drawing No.

AR.S60.6003

Revision

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